

Stephanie E. Cummings
Partner
Direct: 203-575-2649
Fax: 203-575-2600
SCummings@carmodylaw.com

50 Leavenworth Street
P.O. Box 1110
Waterbury, CT 06702

March 3, 2026

VIA ELECTRONIC DELIVERY

Town of Watertown
Planning and Zoning Commission

**RE: 110 Woodbury Road, Watertown, Connecticut (the "Property")
Petition for Waiver Pursuant to Ordinance 36-4(e)**

Our firm represents the owner (the "Applicant") of the Property. As you know, the Applicant has simultaneously submitted a Site Plan Approval/Special Permit application for the purpose of building two new dormitories on the Property. In connection therewith, the Applicant hereby petitions the Town of Watertown's (the "Town") Planning and Zoning Commission (the "Commission") to exercise its authority under Town Ordinance 36-4 (the "Ordinance") for a reduction in its Site Plan and Special Permit application fees from \$139,870 to no greater than \$35,000. The Applicant has separately paid its Conservation Commission review fees and its regulation amendment review fee. The Applicant will also be responsible for payment of any and all building permit fees.

I. The Ordinance

The Town's Ordinance sets the filing fees associated with all land use submissions, which are collected for the stated purpose of, in relevant part, offsetting the expense of the Town's review, evaluation and processing of land use applications, including the costs for publication of legal notices and decisions, the preparation of meeting minutes, staff hourly wages, and overhead.

The Ordinance also provides for a method by which applicants may petition the Commission for reduction of application fees in situations where the "amount of the application fee is clearly excessive in relation to the cost to the town for reviewing and processing the application." This authority to reduce exorbitant fees is consistent with applicable law prohibiting the use of municipal fees to generate revenue, i.e. taxation. Put simply, an application fee cannot be a tax in disguise.

The fee schedule incorporated into the Ordinance provides the specific fees imposed for various land use applications. Here, the relevant fees are the fee for site plan review, special permits or special exceptions, legal fees, and third-party reviews and appraisals approved by the Commission. Importantly, legal fees and third-party review fees are paid directly by an applicant to the appropriate third-party and should not be included in determining if an application fee is excessive.

Notably, site plan review fees for non-residential uses are based on "value," a term that is not defined in either the Town's Zoning Regulations or the Ordinance. The Town has advised that "value" is intended to mean the estimated construction cost. Under the Ordinance, site plan review fees range from \$500 for a "value less than \$100,000" to "\$1,000 plus \$200 for each \$100,000 value" for values of more than \$500,000.

II. Application

Here, the Applicant would be required to pay a site plan review fee of \$137,620, a special permit fee in the amount of \$2,250, and the State of Connecticut fee in the amount of \$60.00. Based on the below, such fees are in excess of what is necessary to offset municipal costs associated with the application, and, if required, would be in contravention to Connecticut law.

A. Past Practice

The Commission has previously utilized its authority to reduce application fees, recognizing that the established fee structure resulted in a fee that would be considerably more than the associated expenses borne by the Town. In that situation, the Applicant's filing fee was reduced from \$35,500 to \$7,500. Here, the "value" of the current project is roughly four and one-half times (4.5x) the value of the prior project. The payment of \$35,000 is slightly more than 4.5x the \$7,500 fee, demonstrating consistency with regard to the reduction.

B. Estimated Costs Incurred

The vast majority of the expenses expected to be incurred by the Town are related to staff salaries and wages. Other expenses, such as legal notice publication costs, are expected to be nominal. For example, similar legal notices published in the Republican American by the undersigned required payment of \$133.00 per publication. Here, we reasonably anticipate that there would be two legal notice publications, resulting in a fee of approximately \$266.00.

The Ordinance also permits fees to offset the cost of the recording and preparation of Commission meeting minutes directly related to a land use application. A review of the Town's adopted 2025-2026 budget shows that no monies were budgeted for a land use minutes' clerk. A review of prior year's budgetary allocations indicates that the Town planned to spend approximately \$200 per meeting for the preparation of minutes. As that \$200 figure includes preparation of minutes for the entire meeting, it is reasonable that the proportional fee would be far less than \$200 per meeting. Even presuming that half of each meeting was solely dedicated to the subject application, the total cost borne by the Town per meeting would be approximately \$100. Here, we anticipate the Commission will hold three meetings, resulting in a fee of approximately \$300.

The remainder of any application fee would be primarily used to offset municipal employees' salary and wages. Based on the adopted 2025-2026 budget, the total salary to be paid for both the Zoning Enforcement Officer ("ZEO") and the Assistant Zoning Officer ("AZE") is \$176,536. Here, even taking into account the nominal costs for publication and the preparation of the meeting minutes (which, as noted, is likely to be no more than \$600), the calculated \$139,870 fee, if collected, would underwrite nearly the entire yearly salaries of both the ZEO and AZEO. Certainly, the ZEO and AZEO will be responsible for conducting far more work on behalf of the Town than just the subject application and the costs associated with such other work cannot be shifted to the Applicant.

C. Comparators

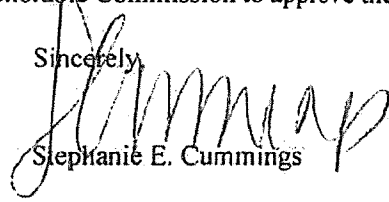
Other local municipalities have fee structures that would result in a significantly lower fee, even though the work undertaken by such other municipalities to review, evaluate, and process the application would be substantially the same as the work undertaken by the Town. By way of example, the same project in Cheshire would result in a total application fee of approximately \$4,800. The same site plan in Middlebury

would result in a site plan fee of approximately \$6,750. The City of Waterbury requires a flat fee of \$600 for commission action.

III. Conclusion

Based on the totality of the above, a reduced application fee in an amount of no more than \$35,000 is sufficient to offset the Town's costs in reviewing, evaluating, and processing the subject application. As noted above, the costs borne by the Town are anticipated to be \$600 or less, leaving \$34,400 to offset wages of Town employees incurred in the application's review, evaluation, and processing. Additionally, any third-party cost, such as for a third-party review, would be independently paid by the Applicant, reducing any risk that such third-party reviews would dilute the benefit of the application fee.

Thus, a reduced fee is justified and appropriate and we ask this Honorable Commission to approve the same.

Sincerely,

Stephanie E. Cummings



Town of Watertown Connecticut

Planning and Zoning, Zoning Board of Appeals,
Conservation Commission/Inland Wetland Agency

Watertown Municipal Center

61 Echo Lake Road
Watertown, CT 06795
Telephone: (860) 945-5266

Website: www.watertownct.org

SITE PLAN APPROVAL (SA) / SPECIAL PERMIT (SP)

Applicant Information

Name: The Taft School Corporation

Address: 110 Woodbury Road, Watertown CT 06795-2100

Email: jodden@taftschool.org Phone #: (860) 945-7760

Print Name: Jake Odden, CFO

Signature of Applicant:  Date: _____

Owner Information

Name: The Taft School

Address: 110 Woodbury Road, Watertown, CT 06795-2100

Email: jodden@taftschool.org Phone #: (860) 945-7760

Print Name: Jake Odden, CFO

Signature of Owner:  Date: _____

Location of Property:

Address: 110 Woodbury Road, Watertown, CT 06795

Zone R-20/R10/R30 Non-conforming? Yes No Map 108A Block 60 Lot 1

Description of Existing Use/ Property

Type Of Use Private Educational Facility

Size of Property: 165 ac

Number of Buildings/ Sq Ft approximately: 20 (footprints @ 312,771) approx. 858,567 gsf ex. total

Number of parking spaces: 255 existing spaces. 266 proposed (net +11)

Other important features: _____

Signage (# of signs & square feet) provide a cut sheet or sketch: No existing signage is being modified.

Description of Proposed Use

Uses: Addition of 2 new student dormitory structures.
Number of Buildings/ Sq Ft approximately: 2 new buildings (10,545 sf footprint ea; 45,258 sf total ea.)
Number of parking spaces: Net 11 additional parking spaces for a total of 266 on campus.
Signage (# of signs & square feet) provide a cut sheet: No new signage is proposed.

Number of Employees 5 new employees are estimated to result from this project.

Professional Engineer/ Surveyor

Name: Land Resource Consultants Engineering & Surveying, LLC
Address: 160 West Street, Suite E
Cromwell, CT 06416 Attn: Henry Thomas, Principal LA
Email: hthomas@lrconsult.com
Phone: 860-635-2877 x215

Fees

An additional \$60 State fee must be added to all application costs per Public Act 92-235 Section (4) enacted by the Connecticut State Legislature.

<input type="radio"/> Residential		\$250
<input checked="" type="radio"/> Multi-family dwellings or Non- residential use		
	Value less than \$100,000	\$500
	Value \$100,000 to \$500,000	\$1,000
	Value more than \$500,000	\$1,000 plus \$200 for each
\$100,000 value		

Special permits or special exception (in addition to the application fee and site plan fee)

<input type="checkbox"/> Residential	\$150
<input type="checkbox"/> Non-Residential	\$250
Excavation of fill materials	
Less than 1,000 cubic yards	\$500
1,000 to 49,999 cubic yards	\$1,000
50,000 to 99,999 cubic yards	\$2,000
100,000 or more cubic yards	\$4,000

Section 8.4(B)(3)(a) Detailed Statement

This project is the creation of two new dormitories and integrated infrastructure on The Taft School Corporation's ("Taft") campus at 110 Woodbury Road, Watertown (the "Property"). The Property is 165.76 acres and is located within the R-20 district. It abuts residential uses in both the R-30 and the R-10 districts. Taft owns over twenty of the parcels abutting the Property. The Property is currently classified as a private school; no change is proposed to the existing use.

By way of background, Taft has been an integral part of the Watertown community since 1893. In fact, Watertown's Plan of Conservation and Development ("POCD") states that Taft "play[s] an active role in maintaining the integrity of Watertown's historic buildings." The POCD also indicates that Taft is the largest private institution in Watertown, and among the largest employers. Throughout its years in the community, Taft has opened its campus and facilities to schools and programs, such as inviting local schools and clubs to use its ice rink and playing fields. The Taft campus is also open to local families for sledding, walking and running. These shared amenities are in direct alignment with the POCD's objective of working with Taft to explore opportunities to share private athletic facilities and recreational fields.

As is detailed in the attached plans, Taft is proposing the construction of two dormitories, each 10,546 square feet, for use by both boarding students and day students. The total student population is not expected to change but the proportion of day to boarding students may shift. The architectural design of the two dormitories is consistent with existing campus architecture.

Ancillary to the construction of the two dormitories, Taft proposes various pedestrian paths connecting the buildings to the campus infrastructure, surrounded by landscaped lawn areas. Given that the dormitories will also house faculty members, Taft proposes creation of a one-way access drive, connecting the campus's main circle to the new dormitories. The access road will also connect to the existing power plant and will exit via an existing access point onto North Street. The project will be landscaped and lit in accordance with the submitted plans.

Section 8.4(B)(3)(b) Detailed Statement

A(1) The location and size of the site, the nature and intensity of the operations involved in or conducted in connection with the use, and the location of the site with respect to streets giving access to it are such that the use shall be in harmony with the appropriate and orderly development in the district in which it is located and shall promote the welfare of the Town.

The use of the Property is currently, and will remain, "private school". There is no anticipated change in the number of students or increase in vehicular traffic. No new campus access points are proposed. The proposed interior access drive will use existing means of ingress and egress from campus.

A(2) The proposed use shall be of such location, size and characteristic that, in general, it will be in harmony with the appropriate and orderly development of the district in which it is proposed to be situated and shall not be detrimental to the orderly development of adjacent properties in accordance with the zoning classifications of such properties.

As is noted above, no new use is proposed in this submission. This proposal only seeks to add two buildings and related interior infrastructure to its existing campus. The buildings will be harmonious with the existing campus and are consistent with its existing use.

B(1) The design elements of the proposed development are suitable in relation to the site characteristics, the style of other buildings in the immediate area, and the existing and probable future nature of the neighborhood in which the use is located.

The new dormitories and related infrastructure are designed to be harmonious with the existing campus buildings in both size and aesthetic, all of which will continue to be compatible with, and enhance, the nature of the surrounding neighborhood.

B(2) The location, nature, and height of buildings, walls, and fences, planned activities and the nature and extent of landscaping on the site will be such that the use shall not hinder or discourage the appropriate development and use of adjacent land and buildings or impair the value thereof.

The location, nature, and height of the proposed dormitories and ancillary walls, fences, landscaping, and planned activities will all be consistent with existing buildings, structures, and uses of the Taft campus. The project will enhance surrounding areas.

B(3) The proposed use or activity shall not have any adverse effect upon the neighboring area resulting from the use of signs, artificial illumination or any noise making device.

The two proposed dormitories will not create any adverse impact on the surrounding neighborhood. Lighting plans have been submitted herewith providing all requisite detail. No modifications to signage is proposed.

C(1) The design, location and specific details of the proposed use or activity shall not decrease "level of service," adversely affect safety in the streets nor interfere with the pattern of vehicular circulation in such a manner as to create or augment unsafe traffic conditions.

This project will not decrease any level of service or adversely impact street safety. No new means of ingress or egress are proposed. The amount of vehicular traffic is anticipated to be consistent with current traffic levels.

C(2) Parking areas will be of adequate size for the particular use and shall be suitably screened from adjoining residential uses and entrance and exit drives will be laid out so as to prevent traffic hazards and nuisances.

Three small parking areas will be installed along the proposed access drive, creating 24 parking spaces for use by faculty who reside in the new dormitories. The net increase in spaces above existing parking is 11 spaces. The parking areas are screened using trees and other natural borders. No new means of ingress or egress are proposed.

C(3) Streets and other rights-of-way will be of such a size, condition and capacity (in terms of width, grade, alignment and visibility) to adequately accommodate the traffic to be generated by the particular proposed use.

The proposed internal access drive is of a size, condition, and capacity to adequately accommodate any traffic needs. It is anticipated that the primary use of the access drive will be by faculty who reside in the two proposed dormitories.

D(1) The provisions for water supply, sewage disposal and storm water drainage conform to accepted engineering practices, comply with all standards of the appropriate regulatory authority, and shall not unduly burden the capacity of such facilities.

This project contemplates for thoughtful stormwater, sewage disposal and water supply to ensure that existing systems are not overburdened. Stormwater management systems as designed will reduce peak flows to natural drainage systems on and off-site.

D(2) The proposed use or activity shall provide easy accessibility for fire apparatus and police protection and is laid out and equipped to further the provision of emergency services.

Fire and police services will be able to easily access the two new dormitories by use of the proposed access drive.

E(1) Appropriate consideration shall be given to the protection, preservation, and/or enhancement of natural resources and unique resources including, where appropriate, the use of conservation restrictions to protect and permanently preserve such resources and features.

The proposal is a modification of an existing use and is thoughtfully landscaped so as to create a diverse environment and support diverse flora, in turn creating a new habitat and foraging opportunity that does not currently exist.

E(2) Suitable condition shall be given to whether the proposed development is appropriate given the types, terrain and characteristics of the land.

The Property already supports similarly sized dormitories and other structures. The proposal of the two new dormitories is consistent therewith.

E(3) Appropriate consideration shall be given to the protection, preservation, and/or enhancement of historic and archeologic resources including, where appropriate, the use of conservation restrictions to protect and permanently preserve such resources and features.

This project is in harmony with the historic elements of Watertown and Taft's campus. Moreover, per the POCD, Taft has been a driving force in preserving historic structures in the area.

E(4) Appropriate consideration shall be given to the protection, preservation, and/or enhancement of scenic resources, including, where appropriate the use of conservation restrictions to protect and permanently preserve such resources and features.

The landscaping and development of new walking paths, open to the Watertown community, will directly enhance the Town's scenic resources.

F(1) Adequate provision has been made for the sustained maintenance of the proposed development (structures, streets, and other improvements).

The project is designed to promote sustainable maintenance. By way of example, the creation of walking paths connecting the new dormitories to other areas of Taft's campus helps ensure that students and faculty do not create incidental and unmaintainable pathways.

G(1) The proposed use or activity does not conflict with the purposes of the Regulations, as amended.

The proposed development satisfies the purpose of the R-20 district, maintaining a suburban environment. The creation of two dormitories on an existing private school campus of over 165 acres is easily supported in the district.

G(2) the proposed use or activity does not conflict with the achievement of the goals, objectives, policies, and recommendations of the Plan of Conservation and Development, as amended.

This proposal aligns with the POCD. In fact, the POCD states, in relevant part, that “Taft School play(s) an active role in maintaining the integrity of Watertown’s historic buildings.” The POCD also identifies “private institutional” as an existing land use in Watertown.

G(3) The proposed use or activity adequately addresses the health, safety, and welfare of the public, in general, and the immediate neighborhood in particular.

The two proposed dormitories on an existing private school campus are consistent with health, safety, and welfare objectives for the immediate neighborhood.



Town of Watertown

Connecticut

06795

Town of Watertown
Public Works Department
Heminway School Town Hall
61 Echo Lake Road
Watertown, CT 06795
(860) 945-5240
Fax (860) 945-2707
www.watertownct.org

To: Spencer Musselman, Administrator for Land Use and Building Services/ZEO

From: Paul Bunevich, Town Engineer

Date: January 30, 2026

Subject: The Taft School – Proposed Dormitory Project
110 Woodbury Road
Watertown, CT

I have reviewed the Boundary Survey (2 sheets) dated 7-31-08 by Fuss & O'Neill; and the Topographic Survey (9 sheets) dated 12-12-25, the Site Plans (7 sheets) dated January 21, 2026, and the Engineering Summary Report dated January 21, 2026 by LRC Engineering & Surveying, LLC for the above referenced project. I have the following comments for your consideration:

- 1) The project consists of two new dormitory buildings, associated access drives and parking, landscaping and underground infiltration and above ground bioswales for stormwater control and water quality treatment. The project site layout meets the Town Zoning regulations for access drives and parking areas.
- 2) The Engineering Summary Report states that the water quality volumes for the access drives and parking areas will be detained below the grate of the yard drains in the Stormwater Management Areas, but no calculations for the water quality volumes have been submitted with the report. In addition, if the underground infiltration system for the dormitory roof drain runoff treats a portion of the water quality volume, that should be denoted in the Report.
- 3) The Flow Rate Attenuation calculations reveal that, as required, the post development peak flows are well below the pre-existing flows; however, based on the NOAA Point Precipitation chart, the Design Rainfall Amount for the 2 year storm appears to be based on the 12 hour total of 2.98 inches instead of the 24 hour total of 3.55 inches. The two year flow calculations should be revised accordingly.

Further comments may be forthcoming based on the anticipated Applicant's response to the above comments. If you have any questions let me know.




Cc: C. Allen
C. Natusch
S. Cummings

Natural Diversity Data Base

Areas

WATERTOWN, CT

June 2025

-  State and Federal Listed Species
-  Critical Habitat
-  Town Boundary

NOTE: This map shows known locations of State and Federal Listed Species and Critical Habitats. Information on listed species is collected and compiled by the Natural Diversity Data Base (NDDDB) from a variety of data sources. Exact locations of species have been buffered to produce the generalized locations.

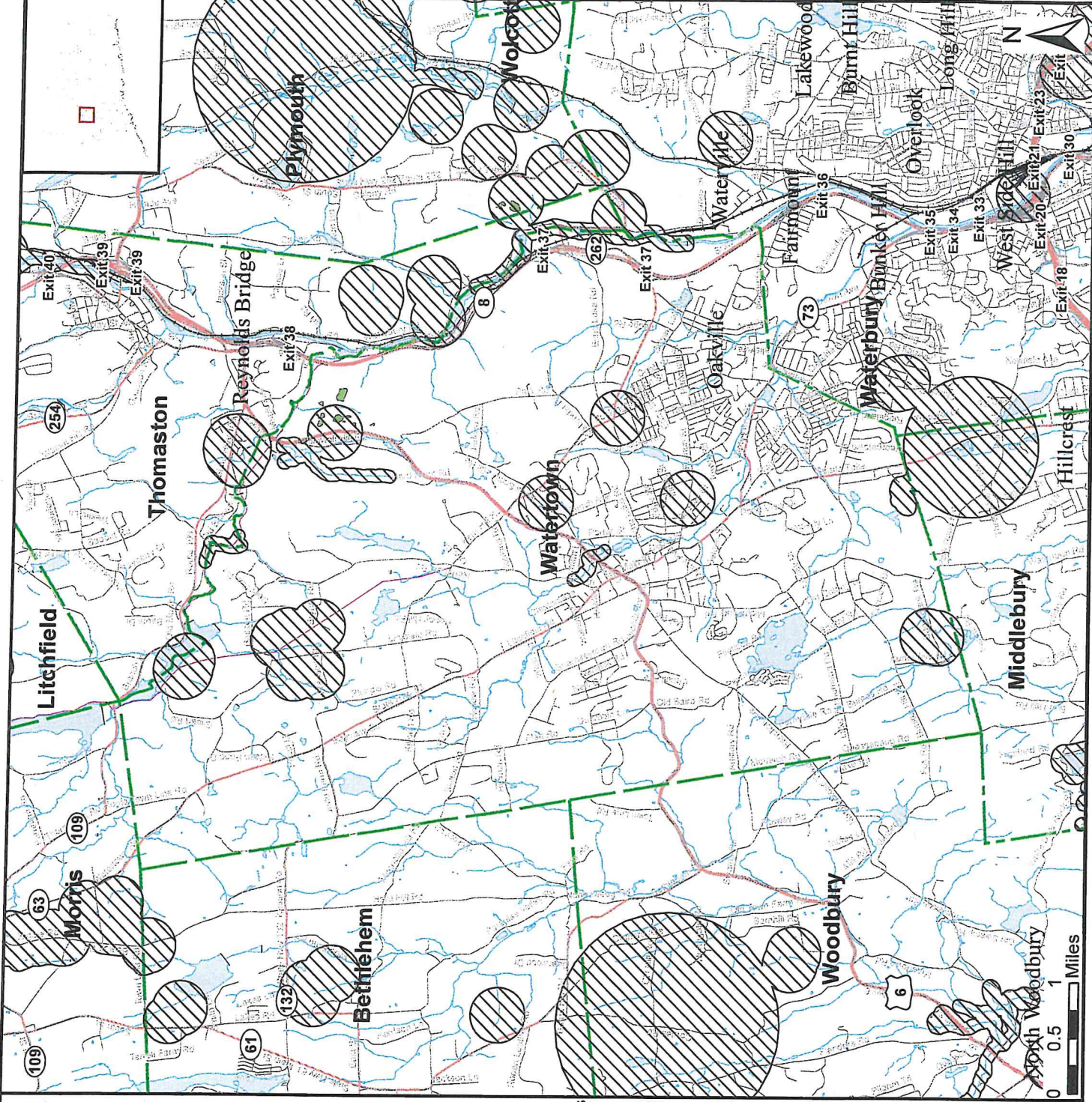
This map is intended for use as a preliminary screening tool for conducting a Natural Diversity Data Base Review Request. To use the map, locate the project boundaries and any additional affected areas if the project is within a hatched area there may be a potential conflict with a listed species. For more information, use DEEP ezFile <https://filings.deep.ct.gov/DEEPPortal/> to submit a Request for Natural Diversity Data Base State Listed Species Review or Site Assessment. More detailed instructions are provided along with the request form on our website: <https://portal.ct.gov/deep-nddbrequest>

Use the CTECO Interactive Map Viewers at <http://cteco.uconn.edu> to more precisely search for and locate a site and to view aerial imagery with NDDDB Areas.

QUESTIONS: Department of Energy and Environmental Protection (DEEP)
79 Elm St, Hartford, CT 06106
email: deep.nddbrequest@ct.gov
Phone: (860) 424-3011



Connecticut
Department of Energy &
Environmental Protection



March 3, 2026

Watertown Planning & Zoning Commission
61 Echo Lake Rd.
Watertown, CT 06795

Dear Planning & Zoning Commission,

I am writing to oppose the proposed construction of new dormitories at The Taft School next to my home. The planned location backs directly up to my property on North Street, and I respectfully ask that the Committee deny this proposal as currently planned.

Placing multi-story dorm buildings directly behind a single-family home is not compatible with the surrounding residential area. This would significantly change the character of my property. Instead of open campus space, I would be facing the back of large student housing buildings with dramatically increased activity, lighting, and noise.

Dormitories are a more intense use than athletic fields. Students live there full-time, which brings extended hours of activity and general student life. That kind of use, right at a residential property line, creates a serious and *unfair impact on my home*.

The construction timeline (from April 2027 through August 2028 according to the Website) also means over a year of heavy equipment, noise, dust, and disruption. That burden would fall directly on my household.

I am also concerned about the long-term impact on my property value. A home directly next to dormitories is much less desirable than one next to traditional campus space.

The school owns most of the surrounding properties, which leaves my home as one of the only independent residences directly affected by this decision. That places the full impact of this expansion on a single homeowner.

Given the size of the school's campus, I ask that the Committee require the dormitories to be located elsewhere on the property, away from the residential boundary.

Thank you for your consideration.

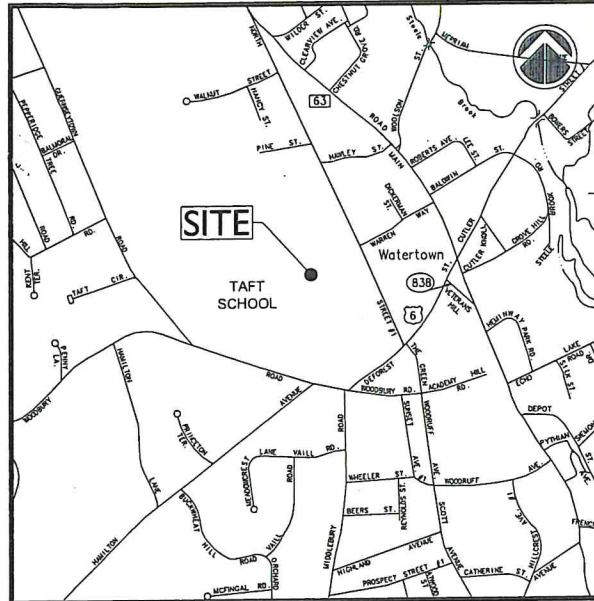
Respectfully submitted

Diane Chere
87 North St.
Watertown, CT 06795

STUDENT DORMITORY PROJECT THE TAFT SCHOOL

110 Woodbury Road
WATERTOWN, CONNECTICUT

CONSERVATION COMMISSION / INLAND WETLAND AGENCY APPLICATION



VICINITY MAP

SCALE: 1"=1,000'

OWNER / APPLICANT:

TAFT SCHOOL
110 WOODBURY ROAD
WATERTOWN, CT 06795-2100
PHONE: 860.945.7760

ARCHITECTURE:

VOITH & MACTAVISH ARCHITECTS LLP
2401 WALNUT STREET, 6TH FLOOR
PHILADELPHIA, PA 19103
PHONE: 215.545.4544

STRUCTURAL ENGINEER:

KEAST & HOOD
1635 MARKET STREET #1705
PHILADELPHIA, PA 19103
PHONE: 215.625.0099

MEP ENGINEER:

KOHLER RONAN CONSULTING ENGINEERS
93 LAKE AVENUE
DANBURY, CT 06810
PHONE: 203.778.1017

LANDSCAPE DESIGN:

TL STUDIO
110 KING PHILIP ROAD UNIT 2A
RUMFORD, RI 02916
PHONE: 401.383.3574

AV/IT/SECURITY

NVS
1315 WALNUT STREET #900
PHILADELPHIA, PA 19107
PHONE: 215.751.1133

LIGHTING DESIGN

O'DONOHUE LIGHTING
1816 S. 2ND STREET
PHILADELPHIA, PA 19148
PHONE: 215.518.4788

CIVIL ENGINEER:



- Civil Engineering
- Land Surveying
- Landscape Architecture
- Land Planning
- Laser Scanning & BIM
- Subsurface Utility Engineering

Land Resource Consultants
Engineering & Surveying, LLC

160 West Street, Suite E
Cromwell, CT 06416
(860) 635-2877

85 Civic Center Plaza, Suite 204
Poughkeepsie, NY 12601
(845) 243-2880

www.lrcconsult.com



LOCATION MAP

SCALE: 1"=200'

INDEX OF DRAWINGS

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EX-1 THRU EX-9	TOPOGRAPHIC SURVEY
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L1.2	MAIN CIRCLE LAYOUT & MATERIALS PLAN
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L3.0	DORM 1 & 2 PLANTING PLAN
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LI-1.2	SOUTH SITE LIGHTING PLAN PHOTOMETRY
LI-2.0	LIGHTING FIXTURE DETAILS

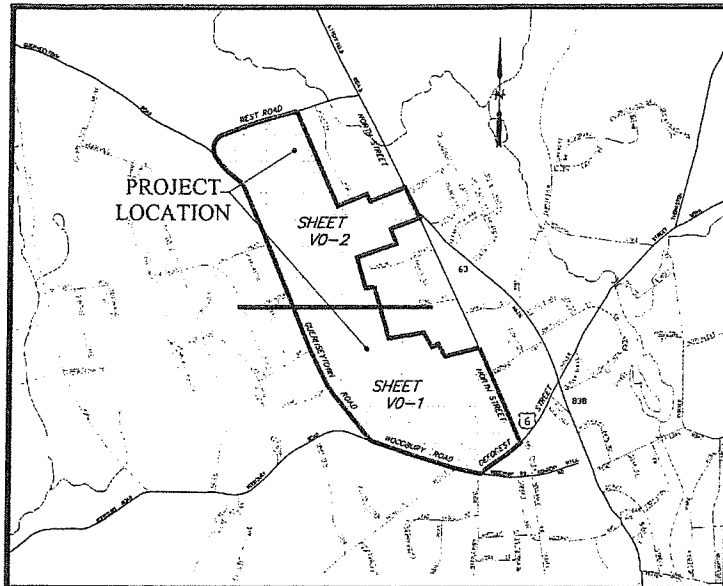
ZONING SUMMARY TABLE

ZONING INFORMATION			
PARCEL SIZE	165.76 ACRES (Referenced from the town GIS)		
ASSESSOR'S LOCATION	MAP 99 BLOCK 58 LOT 7		
ZONING DISTRICT	R-20 DISTRICT		
PROPOSED USE	STUDENT DORMITORY PROJECT		
ITEM	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	20,000 SF	7,220,506 SF	7,220,506 SF
MINIMUM FRONTAGE	75 FT	3,309 FT	3,309 FT
BUILDING SETBACKS			
FRONT YARD	25 FT	36.4 FT	408.9 FT
SIDE YARD	20 FT	20 FT	186.1 FT
REAR YARD	50 FT	50 FT	872.9 FT
MAXIMUM BUILDING HEIGHT (FEET)	35 FT	**54 FT	**54 FT
MAXIMUM BUILDING HEIGHT (STORIES)	3	*	**
MAXIMUM BUILDING COVERAGE	15%	4.3%	4.6%
MAXIMUM IMPERVIOUS SURFACE COVERAGE	25%	8.6%	9.5%

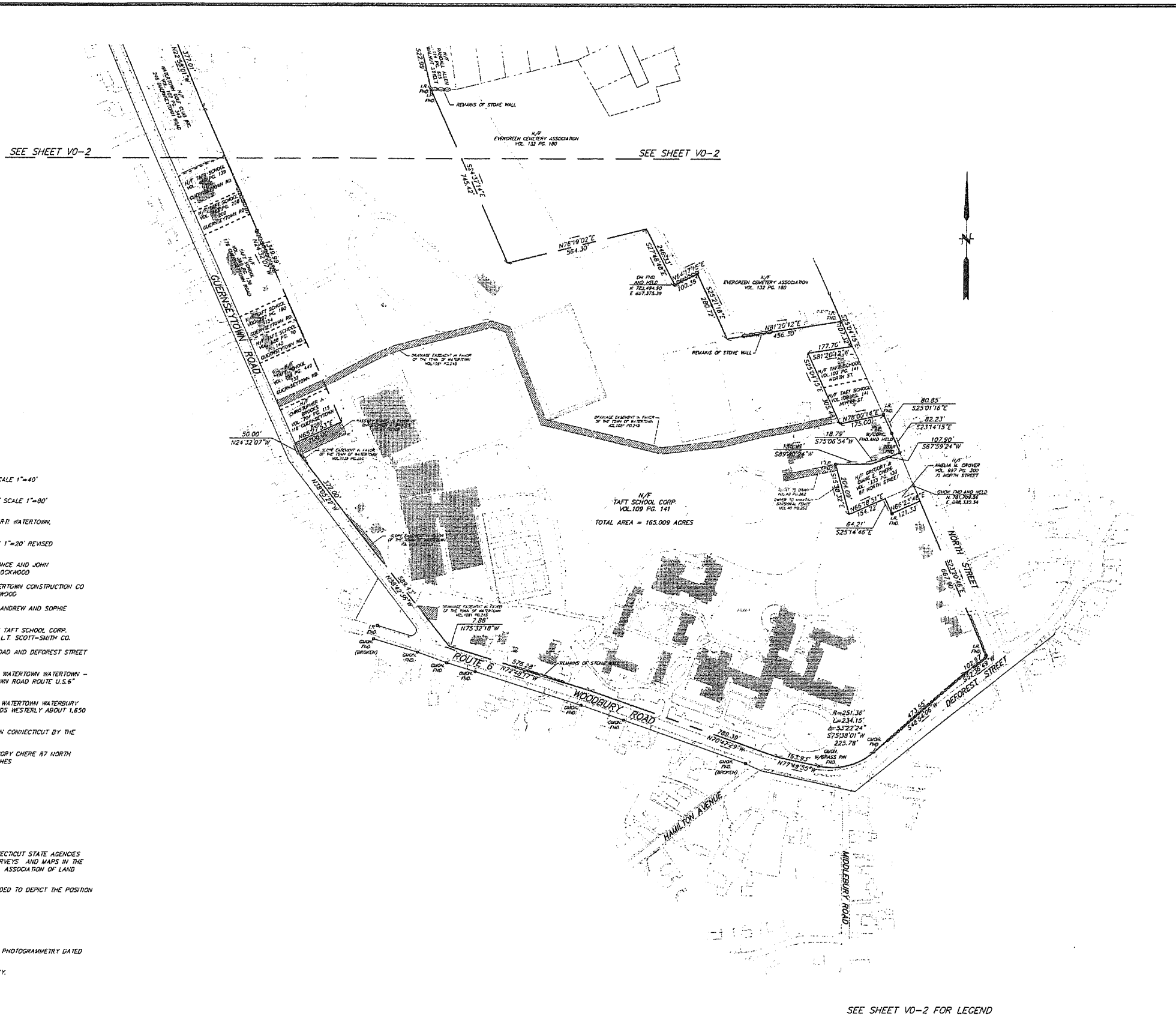
* Received a variance for building height for the John L. Vogelstein Dormitory building
** A text amendment to the zoning regulations is proposed.

ISSUED TO LAND USE PERMITS:

01-21-2026



KEY MAP AND INDEX PLAN - N.T.S.



SEE SHEET VO-2 FOR LEGEND

MAP REFERENCES:

1. "PROPERTY OF HOWARD M. HICKCOX WATERTOWN CONN. SECTION NO. 1" SCALE 1"=40' DATE MARCH 28, 1925 BY BRONSON E. LOCKWOOD
2. "MAP OF LAND BELONGING TO MRS. ELLEN H. SCOVILL WATERTOWN, CONN." SCALE 1"=80' DATE MARCH 1929 BY WILLIAM B. REYNOLDS
3. "MAP OF SECTION ONE CLOVERDALE BELONGING TO EDWARD & BERTHA MARI WATERTOWN, CT." SCALE 1"=10' DATE APRIL 1949 BY ARTHUR W. WOOD
4. "PROPERTY OF ORIS AND DORIS W. SALVATORE WATERTOWN, CONN." SCALE 1"=20' REVISED MARCH 1951 BY WILLIAM B. REYNOLDS
5. "PLAN OF WALNUT ACRES SECTION NO. 1 OWNED AND DEVELOPED BY ALFONCE AND JOHN KGWTOU WATERTOWN, CONN." SCALE 1"=30' DATE NOVEMBER 1951 BY B.E. LOCKWOOD
6. "SECTION NO. 2 PLAN OF WALNUT ACRES OWNED AND DEVELOPED BY WATERTOWN CONSTRUCTION CO INC. WATERTOWN, CONN." SCALE 1"=30' DATE SEPTEMBER 1952 BY B.E. LOCKWOOD
7. "MAP REVISING A PORTION OF SECTION ONE-CLOVERDALE BEING LAND OF ANDREW AND SOPHIE KUSALA" SCALE 1"=50' DATE NOVEMBER 1982 BY HARRY G. OWENS, JR.
8. "SUBDIVISION PLAN LAND OF THE TAFT SCHOOL CORPORATION OWNER: THE TAFT SCHOOL CORP. 110 WOODBURY ROAD WATERTOWN, CONN." SCALE 1"=40' DATE JUNE 1976 BY L.T. SCOTT-SMITH CO.
9. "PORTION OF PROPERTY OF THE TAFT SCHOOL CORPORATION WOODBURY ROAD AND DEFOREST STREET WATERTOWN, CT." SCALE 1"=100' DATE 5/9/90 BY H.W. HART
10. "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF WATERTOWN WATERTOWN - WOODBURY ROAD FROM THE WOODBURY TOWN LINE EASTERLY TO GUERNSEY TOWN ROAD ROUTE U.S.6" SCALE 1"=40' DATE SEPTEMBER 28, 1934
11. "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF WATERTOWN WATERTOWN WOODBURY ROAD FROM THE INTERSECTION OF THOMASTON & WATERTOWN ROADS WESTERLY ABOUT 1,650 FEET ROUTE U.S.6" SCALE 1"=40' DATE FEB. 14, 1934
12. "TOWN OF WATERTOWN MAP SHOWING LAND RELEASED TO BANK OF BOSTON CONNECTICUT BY THE STATE OF CONNECTICUT U.S. ROUTE 6" SCALE 1"=40' DATE JANUARY 1988
13. "ZONING LOCATION SURVEY - PROPOSED PREPARED FOR DIANE E. & GREGORY CHERE 87 NORTH STREET WATERTOWN, CT." NOVEMBER 6, 2004 SCALE 1"=20' BY DAVID A. HUGHES

SURVEY NOTES:

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS" AND MAPS IN THE STATE OF CONNECTICUT AS PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1998.
2. THE TYPE OF SURVEY PERFORMED IS A BOUNDARY SURVEY, AND IS INTENDED TO DEPICT THE POSITION OF THE BOUNDARIES WITH RESPECT TO ALL MONUMENTATION.
3. BOUNDARY DETERMINATION IS BASED ON A DEPENDENT RESURVEY.
4. THIS PLAN CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.
5. HORIZONTAL DATUM IS BASED ON NAD 83.
6. PLANIMETRIC FEATURES PROVIDED BY JAMES W. SEWALL COMPANY AERIAL PHOTOGRAMMETRY DATED 6/12/2008
7. ABUTTING PROPERTY LINES ARE BASED ON CLASS D HORIZONTAL ACCURACY.
8. ALL MONUMENTATION LOCATED HAVE BEEN DEPICTED HEREON.

No.	DATE	DESCRIPTION	BY

PROJ. MANAGER:	
CHIEF DESIGNER:	
REVIEWED BY:	
DATE:	

SEAL	
SEAL	



TO MY KNOWLEDGE AND BELIEF, THESE MAPS ARE SUBSTANTIALLY CORRECT AS NOTED HEREON.

David A. Caricchio

70038
DAVID A. CARICCHIO LICENSE No.

SCALE:	HORIZ.: 1" = 100'
	VERT.:
DATUM:	HORIZ.: NAD 83
	VERT.:
100 50 0 100 GRAPHIC SCALE	

WWW.FAND0.COM

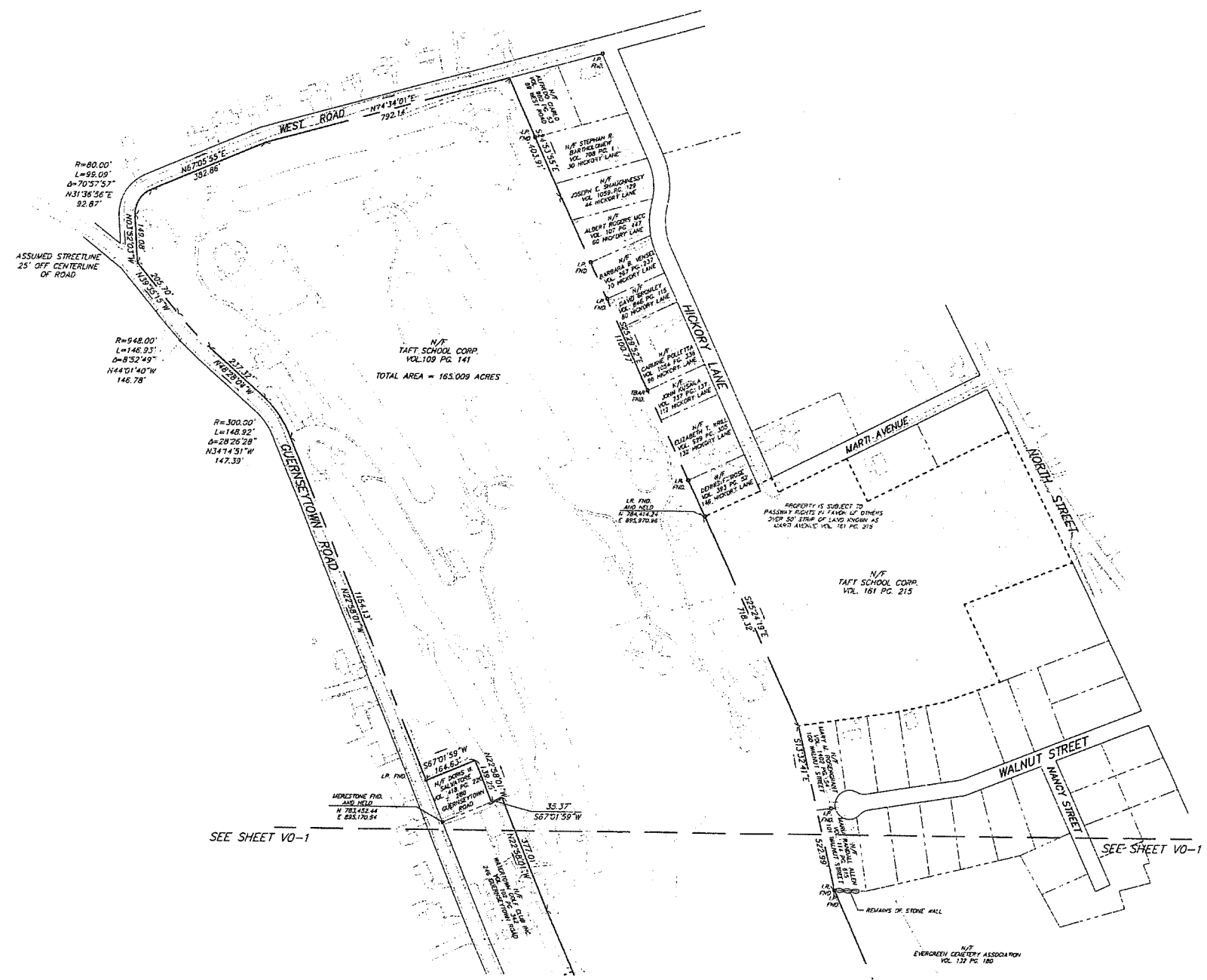
FUSS & O'NEILL
Disciplines to Deliver

146 HARTFORD RD MANCHESTER, CT 06040 860.646.2469

BOUNDARY SURVEY
OF A PORTION OF THE
TAFT SCHOOL MAIN CAMPUS

110 WOODBURY ROAD WATERTOWN, CONNECTICUT

PROJ. No.: 95023.V20
DATE: 7/31/08
V0-1



LEGEND

- UTILITY POLE
- SIGN
- GAS GATE
- LIGHT
- EXISTING IRON PIPE
- EXISTING MONUMENT
- TAFT SCHOOL PROPERTY INCLUDED IN THIS SURVEY
- - - TAFT SCHOOL PROPERTY NOT INCLUDED IN THIS SURVEY
- ABUTTING PROPERTY OWNERS
- STREET LINE
- EASEMENT LINE
- EDGE OF WATER
- TREELINE
- STONE WALL
- CHAIN LINK FENCE
- STOCKADE FENCE
- EASEMENT ON TAFT SCHOOL PROPERTY
- EXISTING BUILDING ON TAFT SCHOOL PROPERTY

SURVEY NOTES:

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300-1 THROUGH 20-300-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1995.
2. THE TYPE OF SURVEY PERFORMED IS A BOUNDARY SURVEY, AND IS INTENDED TO DEPICT THE POSITION OF THE BOUNDARIES WITH RESPECT TO ALL MONUMENTATION.
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5. HORIZONTAL DATUM IS BASED ON NAD 83.
6. PLANIMETRIC FEATURES PROVIDED BY JAMES W. SEWELL COMPANY AERIAL PHOTODRAMEMTRY DATED 6/12/2008
7. ABUTTING PROPERTY LINES ARE BASED ON CLASS D HORIZONTAL ACCURACY
8. ALL MONUMENTATION LOCATED HAVE BEEN DEPICTED HEREON

SEE SHEET VO-1 FOR MAP REFERENCES

No.	DATE	DESCRIPTION	BY
1.			

PROJ. MANAGER:	
CHIEF DESIGNER:	
REVIEWED BY:	DATE

SEAL

TO MY KNOWLEDGE AND BELIEF, THESE MAPS ARE SUBSTANTIALLY CORRECT AS NOTED HEREON.

David A. Caricchio

DAVID A. CARICCHIO 70036
LICENSE No.

SCALE:

HORZ.: 1" = 100'

VERT.:

DATUM:

HORZ.: NAD 83

VERT.:

GRAPHIC SCALE

WWW.FandO.COM

FUSS & O'NEILL
Disciplines to Deliver

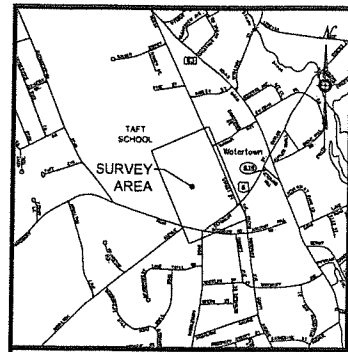
146 HARTFORD RD MANCHESTER, CT 06040 860.646.2459

BOUNDARY SURVEY
OF A PORTION OF THE
TAFT SCHOOL MAIN CAMPUS

110 WOODBURY ROAD WATERTOWN, CONNECTICUT

PROJ. No.: 95023.V20
DATE: 7/31/08

V0-2



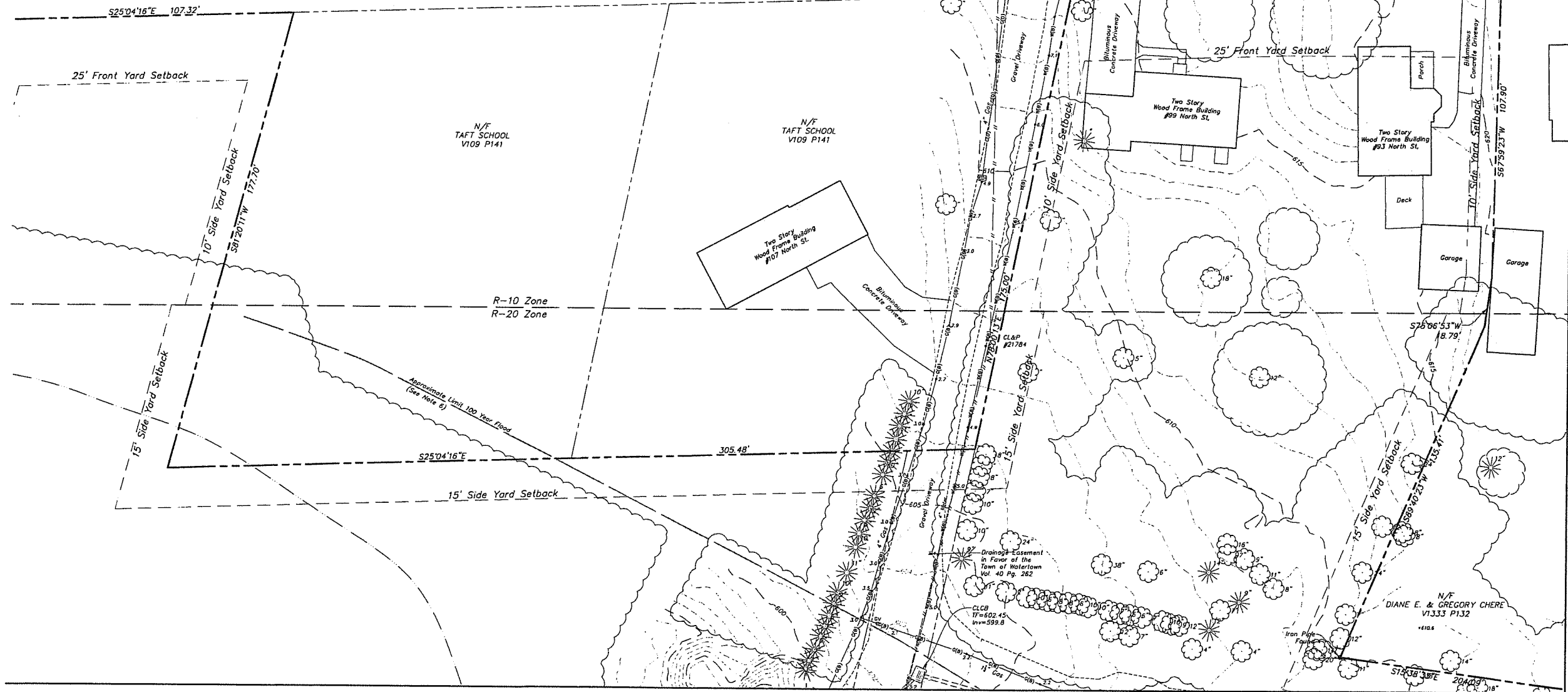
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Scale 1"=1,500'



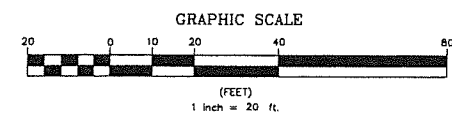
Key Map
Scale 1"=500'

Map Notes

- This map and survey have been prepared in accordance with the Regulations of Connecticut State Agencies, Sections 20-300b-1 through 20-300b-20, "Minimum Standards of Accuracy, Content and Certification for Surveys and Maps", effective June 21, 1996, amended October 26, 2018.
The type of survey performed and the mapped features depicted hereon are in accordance with the requirements of a Topographic Survey and is intended to note or depict the existing site conditions within the project area with respect to existing physical features such as structures, parking areas, sidewalks, fences, walls, ball fields, trees, spot elevations and contours.
The contour interval is one (1) foot.
There is no boundary determination/opinion.
Property lines depicted hereon are approximate and do not represent a property/boundary opinion. The approximate property line information was compiled from the map referenced in note 4A. It is not to be construed as having been obtained as the result of a field survey, and is subject to change based on such facts as an accurate field survey may disclose.
This survey conforms to Horizontal Accuracy Class D & A-2.
This survey conforms to Topographic Survey Accuracy Class T-2.
This survey conforms to Vertical Accuracy Class V-2.
Aerial survey was flown on October 27, 2025.
Field survey was completed on December 12, 2025.
- North arrow and bearings are referenced to the North American Datum (NAD) of 1983 projected onto the Connecticut State Plane Coordinate System based on the averaged values of multiple GPS observations made on March 19, 2025 utilizing the Keystone KeyNetGPS VRS Network.
- Elevations and contours are referenced to North American Vertical Datum (NAVD) of 1983 based on the averaged values of multiple GPS observations made on March 19, 2025 utilizing the Keystone KeyNetGPS VRS Network.
- Reference is made to the following maps:
A. "Boundary Survey of a Portion of the Taft School Main Campus, 110 Woodbury Road, Watertown, Connecticut", scale 1"=100', dated July 31, 2008, revised September 30, 2008, prepared by Fuss & O'Neil.
- Parcel is identified as Tax Block 58, Lot 7 on the Town of Watertown Assessor's Map 99.
- Portion of the property is located in Zone "B" (areas between 100-year and 500-year flood or area subject to 100-year flood with depths average less than 1 foot) and Zone "C" (areas of minimal flooding) as depicted on Flood Insurance Rate Map (FIRM) Panels 5 & 6 of 11, Litchfield County, Connecticut, Town of Watertown, community number 090058, with an effective date of November 5, 1980.
- The subsurface utilities depicted hereon conform to the following Utility Quality Levels, as defined by the American Society of Civil Engineers (ASCE) in Document CI/ASCE 38-02 titled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data".
The contractor is required to utilize the local utility one call system prior to excavation for the purpose of verifying the subsurface utilities in the area.
See Utility Quality Levels legend on Sheet EX-2.



MATCHLINE SEE SHEET 2 OF 9



Certification

To my knowledge and belief this map is substantially correct as noted hereon.

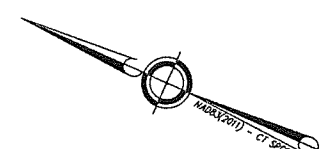
John F. Wagenblatt
JOHN F. WAGENBLATT L.S. No. 17,791



	Property Line		Electric Line		Catch Basin
	Easement Line		Telephone Line		Curbside Catch Basin
	Index Contour		Fiber Optic Line		Shrub
	Intermediate Contour		Steam Line		Monument
	Treenline		Site Light Line		Iron Pin, Pipe, Rebar, Drill Hole
	Hedge/Shrub Line		Overhead Wire		Wellhead Flag
	Stone Wall		Concrete Surface		Sign
	Retaining Wall		Gravel Surface		Ballard
	Fence		Deciduous Tree		Existing Spot Grade
	Guide Rail		Coniferous Tree		Guy Wire
	Stream/Edge of Water				Manhole, Utility Type Unknown
	Limit of Wetlands				Domestic Water Well
	Upland Review/Regulated Area				Lamp Post
	Storm Sewer				Steam Manhole
	Sanitary Sewer				Double Light Pole
	Water Main				New or Formerly (in Title of)
	Gas Main				

	Catch Basin		Electric Handhole
	Curbside Catch Basin		Unidentified Handhole
	Shrub		Irrigation Control Box
	Monument		Drainage Manhole
	Iron Pin, Pipe, Rebar, Drill Hole		Sanitary Manhole
	Wellhead Flag		Electric Manhole
	Sign		Telephone Manhole
	Ballard		Paved-Over Manhole
	Existing Spot Grade		Manhole, Utility Type Unknown
	Guy Wire		Domestic Water Well
	Manhole, Utility Type Unknown		Lamp Post
	Domestic Water Well		Steam Manhole
	Lamp Post		Double Light Pole
	Steam Manhole		New or Formerly (in Title of)
	Double Light Pole		
	New or Formerly (in Title of)		

MATCHLINE SEE SHEET 4 OF 9



Deed References
Volume 109 Page 141

Land Resource Consultants Engineering & Surveying, LLC
180 West Street, Suite E
Canaan, CT 06046
(860) 834-2311
85 Civic Center Plaza, Suite 204
Hartford, CT 06103
(860) 242-2300
www.lrc-llc.com

TOPOGRAPHIC SURVEY SHEET 1 OF 9

TAFT SCHOOL
110 WOODBURY ROAD
TOWN OF WATERTOWN
LITCHFIELD COUNTY, CONNECTICUT

Design/Calc	JW	CAD File	EX24325801.dwg	Sheet No.	
Drawn	RU/RN	Project No.	24-3258		
Checked	JW	Date	12/12/2025		
Approved	JW	Scale	1"=20'		

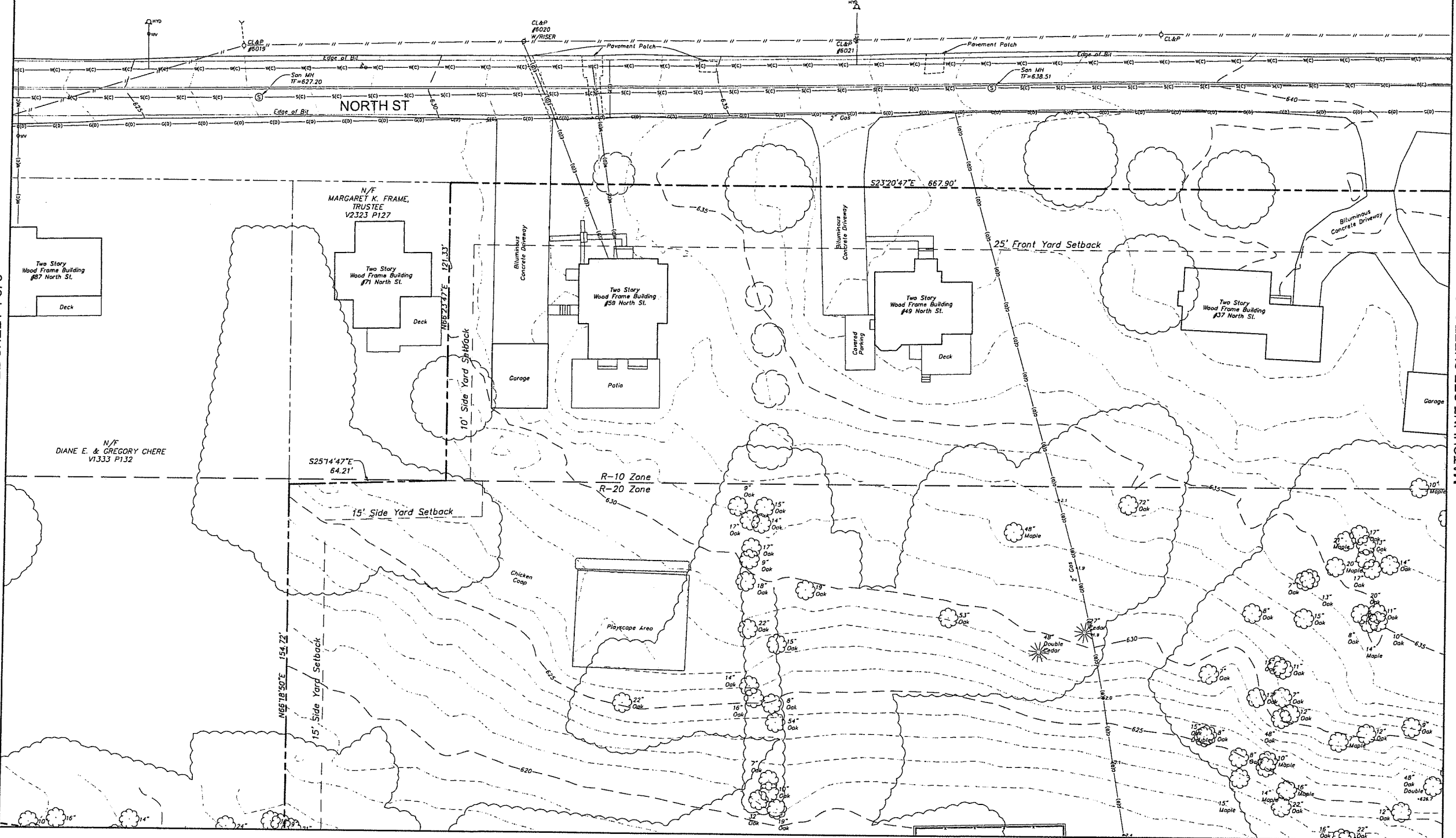
EX-1

EX-1	EX-2	EX-3
EX-4	EX-5	EX-6
EX-7	EX-8	EX-9

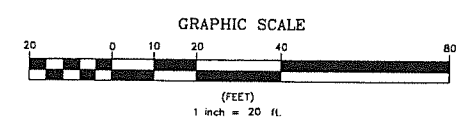
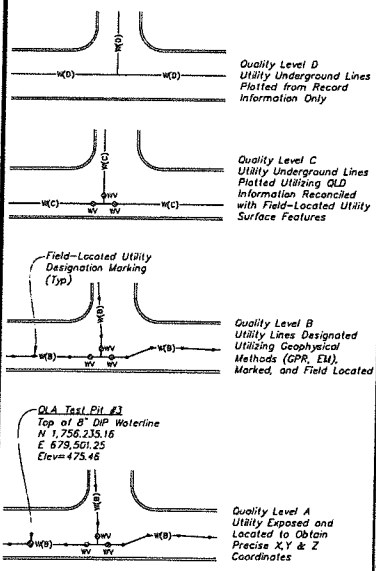
Key Map
Scale 1"=500'

MATCHLINE SEE SHEET 1 of 9

MATCHLINE SEE SHEET 3 of 9



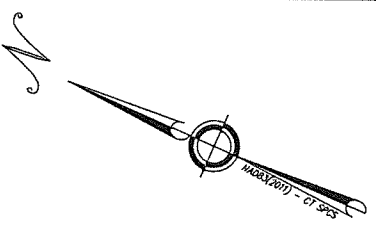
UTILITY QUALITY LEVELS



	Property Line		Electric Line
	Easement Line		Telephone Line
	Index Contour		Fiber Optic Line
	Intermediate Contour		Steam Line
	Tree Line		Site Light Line
	Hedge/Shrub Line		Overhead Wire
	Stone Wall		Concrete Surface
	Retaining Wall		Gravel Surface
	Fence		Deciduous Tree
	Guide Rail		Coniferous Tree
	Stream/Edge of Water		
	Limit of Wetlands		
	Upland Review/Regulated Area		
	Storm Sewer		
	Sanitary Sewer		
	Water Main		
	Gas Main		

	Catch Basin		Electric Handhole
	Curbside Catch Basin		Unidentified Handhole
	Shrub		Irrigation Control Box
	Monument		Drainage Manhole
	Iron Pin, Pipe, Rebar, Drill Hole		Sanitary Manhole
	Wetland Flag		Electric Manhole
	Sign		Telephone Manhole
	Ballard		Paved-Over Manhole
	Existing Spot Grade		Manhole, Utility Type Unknown
	Guy Wire		Domestic Water Well
	Mailbox		Lamp Post
	Utility Pole		Steam Manhole
	Water Valve		Double Light Pole
	Hydrant		N/F
	Gas Valve		
	Handicap Parking		
	End of Geophysical Information (Signal Lost)		

MATCHLINE SEE SHEET 5 of 9



Certification
To my knowledge and belief this map is substantially correct as noted hereon.
John W. Wagenblatt
JOHN W. WAGENBLATT L.S. No. 17,791



LRC
Land Resource Consultants
Engineering & Surveying, LLC
100 Wood Street, Suite 204
Canaan, CT 06026
(860) 631-2477
www.lrc.com

SEE SHEET EX-1 FOR MAP NOTES.

TOPOGRAPHIC SURVEY
SHEET 2 OF 9

TAFT SCHOOL
110 WOODBURY ROAD
TOWN OF WATERTOWN
LITCHFIELD COUNTY, CONNECTICUT

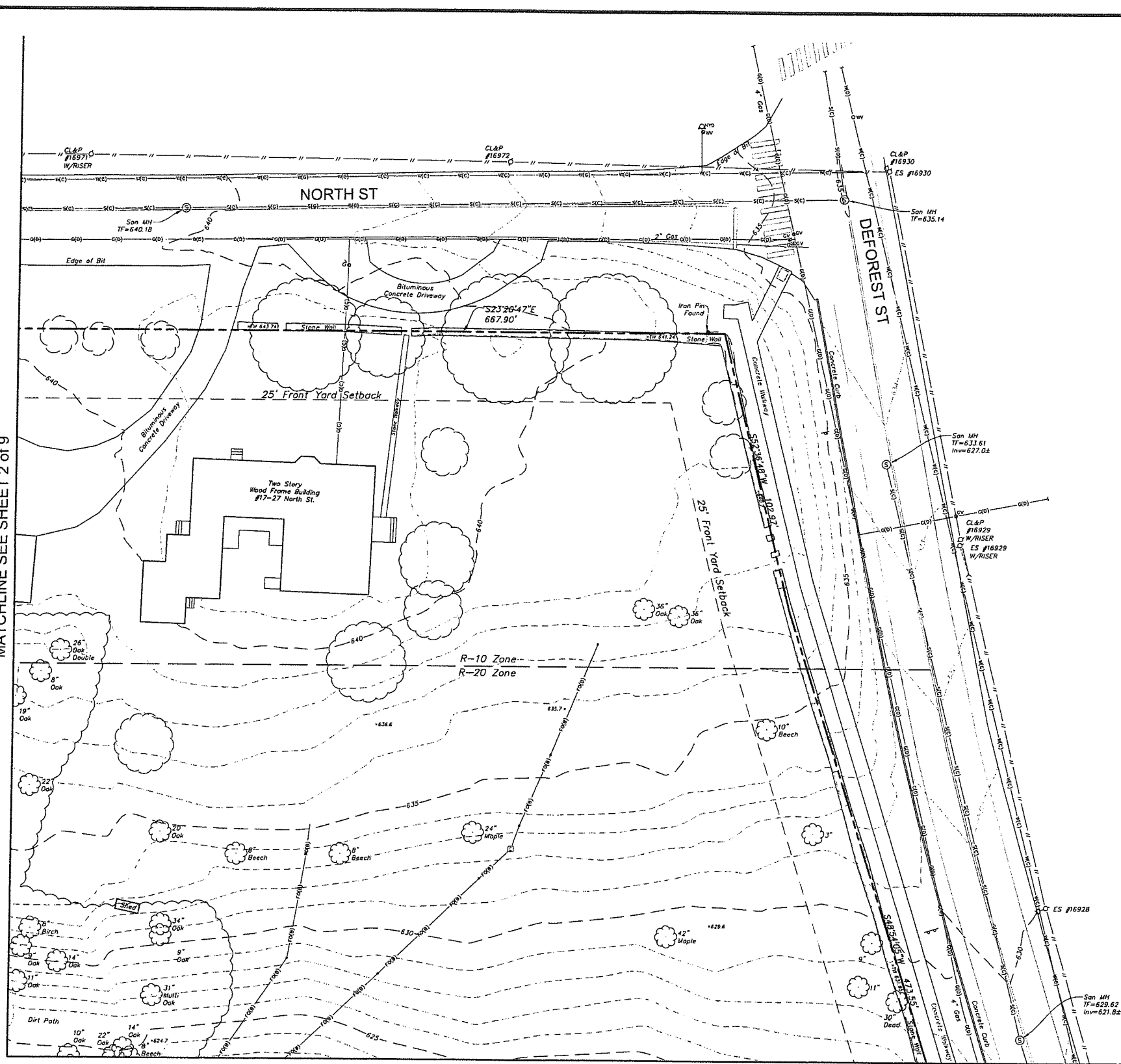
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Checked	JW	Date	12/12/2025	
Approved	JW	Scale	1"=20'	

EX-2

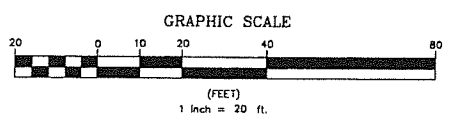
EX-1	EX-2	EX-3
EX-4	EX-5	EX-6
EX-7	EX-8	EX-9

Key Map
Scale 1"=500'

MATCHLINE SEE SHEET 2 of 9



MATCHLINE SEE SHEET 6 of 9



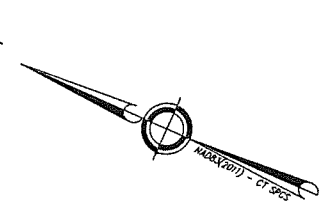
	Property Line
	Easement Line
	Index Contour
	Intermediate Contour
	Treseline
	Hedge/Shrub Line
	Stone Wall
	Retaining Wall
	Fence
	Guide Rail
	Stream/Edge of Water
	Limit of Wetlands
	Upland Review/Regulated Area
	Storm Sewer
	Sanitary Sewer
	Water Main
	Gas Main

	Electric Line
	Telephone Line
	Fiber Optic Line
	Steam Line
	Site Light Line
	Overhead Wire
	Concrete Surface
	Gravel Surface
	Deciduous Tree
	Coniferous Tree

	Catch Basin
	Curbless Catch Basin
	Shrub
	Monument
	Iron Pin, Pipe, Rebar, Drill Hole
	Welland Flag
	Sign
	Ballard
	Existing Spot Grade
	Guy Wire
	Mailbox
	Utility Pole
	Water Valve
	Hydrant
	Gas Valve
	Handicap Parking
	End of Geophysical Information (Signal Lost)

	Electric Handhole
	Unidentified Handhole
	Irrigation Control Box
	Drainage Manhole
	Sanitary Manhole
	Electric Manhole
	Telephone Manhole
	Paved-Over Manhole
	Manhole, Utility Type Unknown
	Domestic Water Well
	Lamp Post
	Steam Manhole
	Double Light Pole
	Now or Formerly (in Title of)

Certification
To my knowledge and belief this map is substantially correct as noted hereon.
John F. Wagenblatt
JOHN F. WAGENBLATT L.S. No. 17,791



• Civil Engineering
• Land Surveying
• Landscape Architecture
• Land Planning
• Laser Scanning & BIM
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160 Wick Street, Suite E
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(860) 634-2477
85 Cross Campus Plaza, Suite 204
Poughkeepsie, NY 12601
(845) 249-2700
www.lrcenr.com

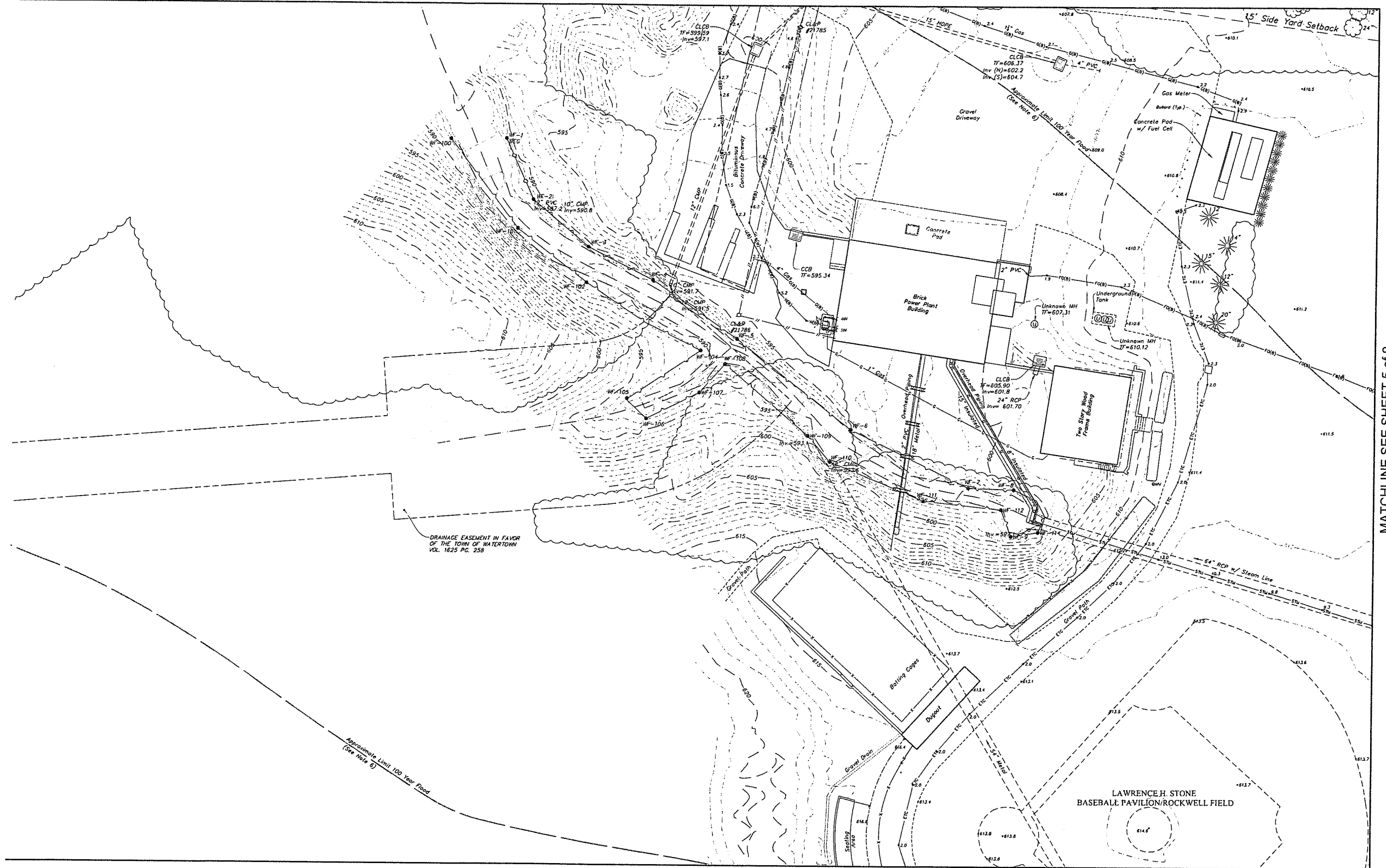
TOPOGRAPHIC SURVEY			
SHEET 2 of 9			
TAFT SCHOOL			
110 WOODBURY ROAD TOWN OF WATERTOWN LITCHFIELD COUNTY, CONNECTICUT			
Design/Calc	JW	CAD File	EX24325801.dwg
Drawn	RM/RN	Project No.	24-3258
Checked	JW	Date	12/12/2025
Approved	JW	Scale	1"=20'
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SEE SHEET EX-1 FOR MAP NOTES.

MATCHLINE SEE SHEET 1 of 9

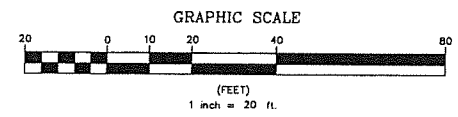
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EX-4	EX-5	EX-6
EX-7	EX-8	EX-9

Key Map
Scale 1"=500'



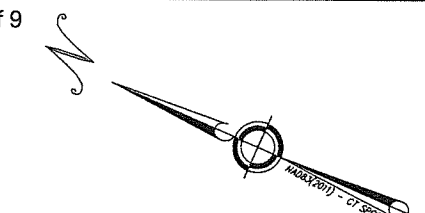
MATCHLINE SEE SHEET 5 of 9

MATCHLINE SEE SHEET 7 of 9



	Property Line		Electric Line
	Easement Line		Telephone Line
	Index Contour		Fiber Optic Line
	Intermediate Contour		Steam Line
	Trestle		Site Light Line
	Hedge/Shrub Line		Overhead Wire
	Stone Wall		Concrete Surface
	Retaining Wall		Gravel Surface
	Fence		Deciduous Tree
	Guide Rail		Coniferous Tree
	Stream/Edge of Water		
	Limit of Wetlands		
	Upland Review/Regulated Area		
	Storm Sewer		
	Sanitary Sewer		
	Water Main		
	Gas Main		

	Catch Basin		Electric Handhole
	Curbside Catch Basin		Unidentified Handhole
	Shrub		Irrigation Control Box
	Monument		Drainage Manhole
	Iron Pin, Pipe, Rebar, Drill Hole		Sanitary Manhole
	Wetland Flag		Electric Manhole
	Sign		Telephone Manhole
	Ballast		Paved-Over Manhole
	Existing Spot Grade		Manhole, Utility Type Unknown
	Guy Wire		Domestic Water Well
	Mailbox		Lamp Post
	Utility Pole		Steam Manhole
	Water Valve		Double Light Pole
	Hydrant		Now or Formerly (in Title of)
	Gas Valve		
	Handicap Parking		
	End of Geophysical Information (Signal Lost)		



Certification
To my knowledge and belief this map is substantially correct as noted hereon.
John F. Wagenblatt
JOHN F. WAGENBLATT L.S. No. 17,791



LRC
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85 Civic Center Plaza, Suite 204
Watertown, NY 12091
(518) 212-2660
www.lrc.com

TOPOGRAPHIC SURVEY			
Taft School			
110 WOODBURY ROAD TOWN OF WATERTOWN LITCHFIELD COUNTY, CONNECTICUT			
Design/Client	JW	CAD File	EX24325801.dwg
Drawn	RW/RN	Project No.	24-3258
Checked	JW	Date	12/12/2025
Approved	JW	Scale	1"=20'
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SEE SHEET EX-1 FOR MAP NOTES.

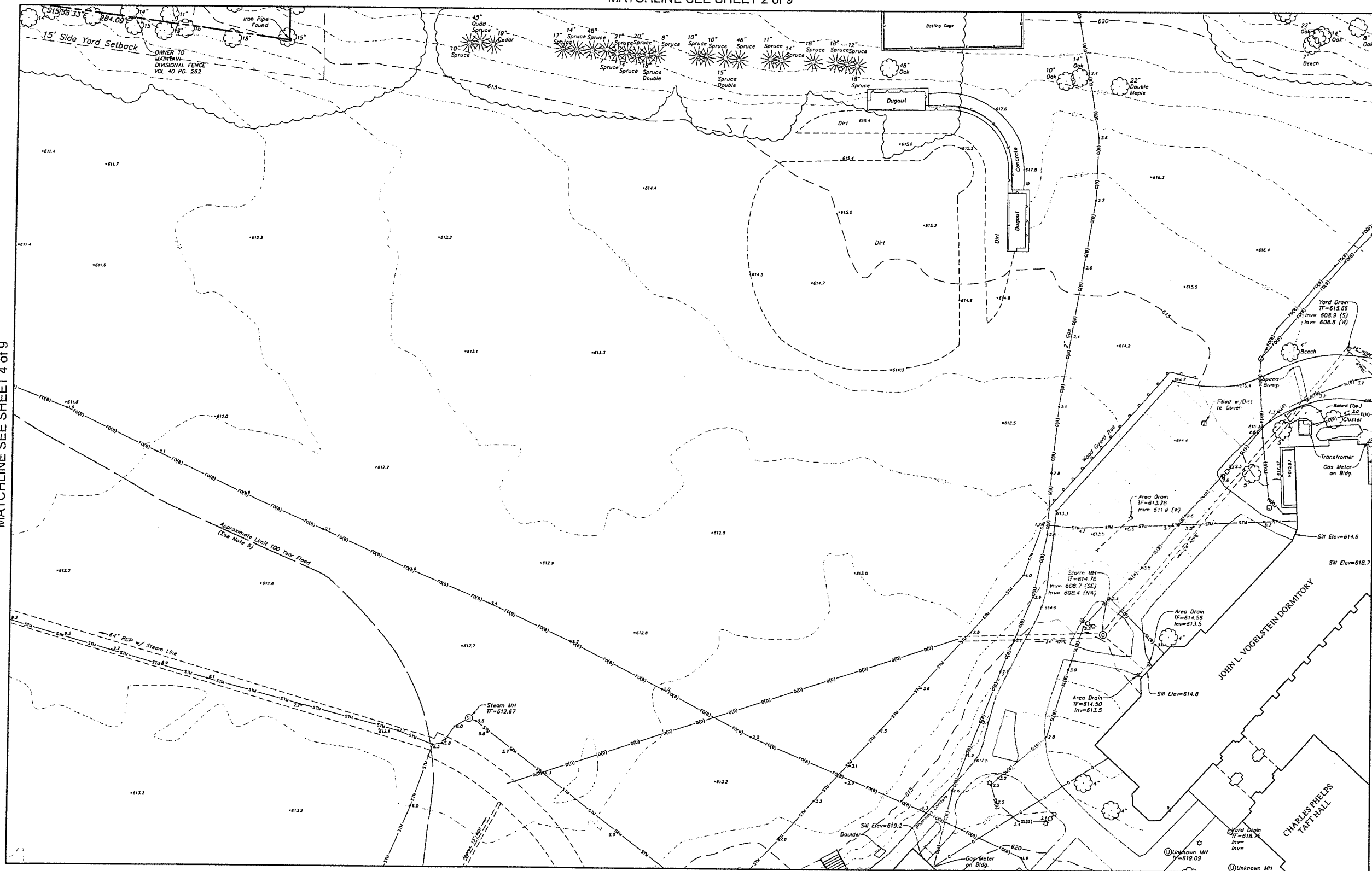
SHEET 4 OF 9

MATCHLINE SEE SHEET 2 of 9

EX-1	EX-2	EX-3
EX-4	EX-5	EX-6
EX-7	EX-8	EX-9

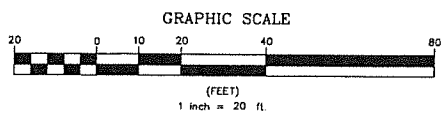
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MATCHLINE SEE SHEET 4 of 9



MATCHLINE SEE SHEET 6 of 9

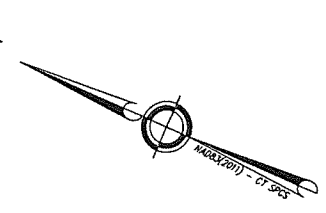
MATCHLINE SEE SHEET 8 of 9



	Property Line		Catch Basin		Electric Handhole
	Easement Line		Curbside Catch Basin		Unidentified Handhole
	Index Contour		Shrub		Irrigation Control Box
	Intermediate Contour		Monument		Drainage Manhole
	Treenline		Iron Pin, Pipe, Rebar, Drill Hole		Sanitary Manhole
	Hedge/Shrub Line		Wetland Flag		Electric Manhole
	Stone Wall		Sign		Telephone Manhole
	Retaining Wall		Ballard		Paved-Over Manhole
	Fence		Existing Spot Grade		Manhole, Utility Type Unknown
	Guide Rail		Guy Wire		Domestic Water Well
	Stream/Edge of Water		Mailbox		Lamp Post
	Limit of Wetlands		Utility Pole		Steam Manhole
	Upland Review/Regulated Area		Water Valve		Double Light Pole
	Storm Sewer		Hydrant		Now or Formerly (in Title of)
	Sanitary Sewer		Gas Valve		
	Water Main		Handicap Parking		
	Gas Main		End of Geophysical Information (Signal Lost)		
	Deciduous Tree				
	Coniferous Tree				

Certification
To my knowledge and belief this map is substantially correct as noted hereon.

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JOHN F. WAGENBLATT L.S. No. 17,791



TRC

- Civil Engineering
- Land Surveying
- Landscape Architecture
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- Laser Scanning & BIM
- Subsurface Utility Engineering

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85 Civic Center Plaza, Suite 204
Farmington, CT 06031
(860) 242-2900
www.trcinc.com

SEE SHEET EX-1 FOR MAP NOTES.

TOPOGRAPHIC SURVEY SHEET 5 OF 9

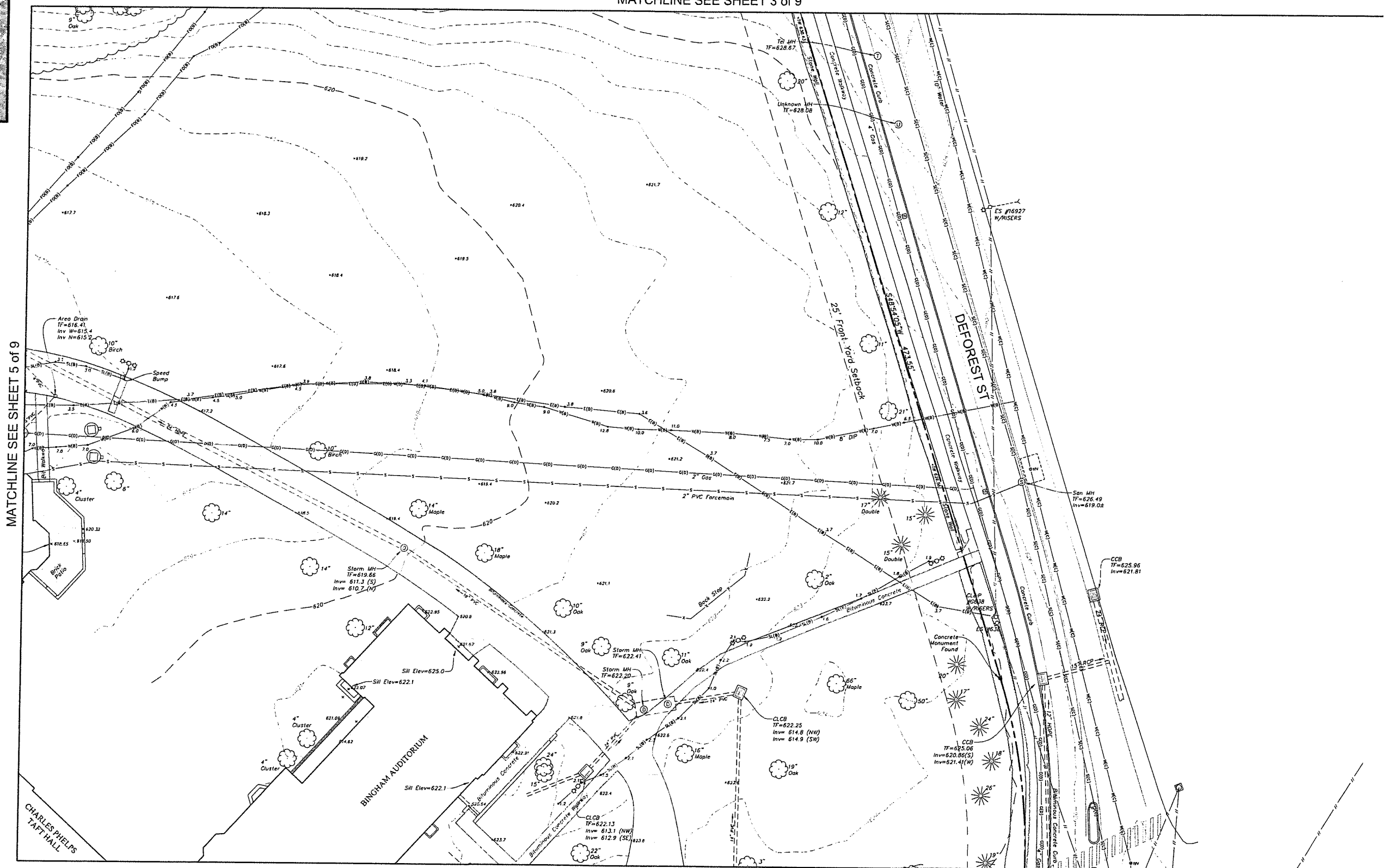
TAFT SCHOOL
110 WOODBURY ROAD
TOWN OF WATERTOWN
LITCHFIELD COUNTY, CONNECTICUT

Design/Check	JW	CAD File	EX24325801.dwg	Sheet No.	
Drawn	RJ/RN	Project No.	24-3258	EX-5	
Checked	JW	Date	12/12/2025		
Approved	JW	Scale	1"=20'		

EX-1	EX-2	EX-3
EX-4	EX-5	EX-6
EX-7	EX-8	EX-9

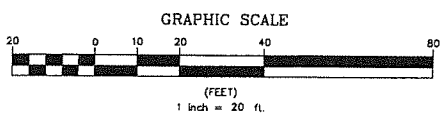
Key Map
Scale 1"=500'

MATCHLINE SEE SHEET 3 of 9



MATCHLINE SEE SHEET 5 of 9

MATCHLINE SEE SHEET 9 of 9

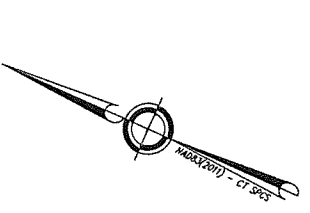


	Property Line
	Easement Line
	Index Contour
	Intermediate Contour
	Treenline
	Hedge/Shrub Line
	Stone Wall
	Retaining Wall
	Fence
	Guide Rail
	Stream/Edge of Water
	Limit of Wetlands
	Upland Review/Regulated Area
	Storm Sewer
	Sanitary Sewer
	Water Main
	Gas Main

	Electric Line
	Telephone Line
	Fiber Optic Line
	Steam Line
	Site Light Line
	Overhead Wire
	Concrete Surface
	Gravel Surface
	Deciduous Tree
	Coniferous Tree

	Catch Basin
	Curbside Catch Basin
	Shrub
	Monument
	Iron Pin, Pipe, Rebar, Drill Hole
	Wetland Flag
	Sign
	Ballast
	Existing Spot Grade
	Guy Wire
	Mailbox
	Utility Pole
	Water Valve
	Hydrant
	Gas Valve
	Handicap Parking
	End of Geophysical Information (Signal Lost)

	Electric Handhole
	Unidentified Handhole
	Irrigation Control Box
	Drainage Manhole
	Sanitary Manhole
	Electric Manhole
	Telephone Manhole
	Paved-Over Manhole
	Manhole, Utility Type Unknown
	Domestic Water Well
	Lamp Post
	Steam Manhole
	Double Light Pole
	New or Formerly (in Title of)



Certification
To my knowledge and belief this map is substantially correct as noted hereon.
John F. Wagenblatt
JOHN F. WAGENBLATT L.S. No. 17,791



LRG
Civil Engineering
Land Surveying
Landscape Architecture
Land Planning
Laser Scanning & BIM
Subsurface Utility Engineering
Land Resource Consultants
Engineering & Surveying, LLC
140 West Street, Suite E
Cromwell, CT 06416
(860) 631-1817
41 Cross Street, Suite 204
Poughkeepsie, NY 12601
(845) 242-3888
www.lrgca.com

TOPOGRAPHIC SURVEY			
SHEET 6 OF 9			
TAFT SCHOOL			
110 WOODBURY ROAD TOWN OF WATERTOWN LITCHFIELD COUNTY, CONNECTICUT			
Design/Color	JW	CAD File	EX24325901.dwg
Drawn	RJ/RH	Project No.	24-3256
Checked	JW	Date	12/12/2023
Approved	JW	Scale	1"=20'

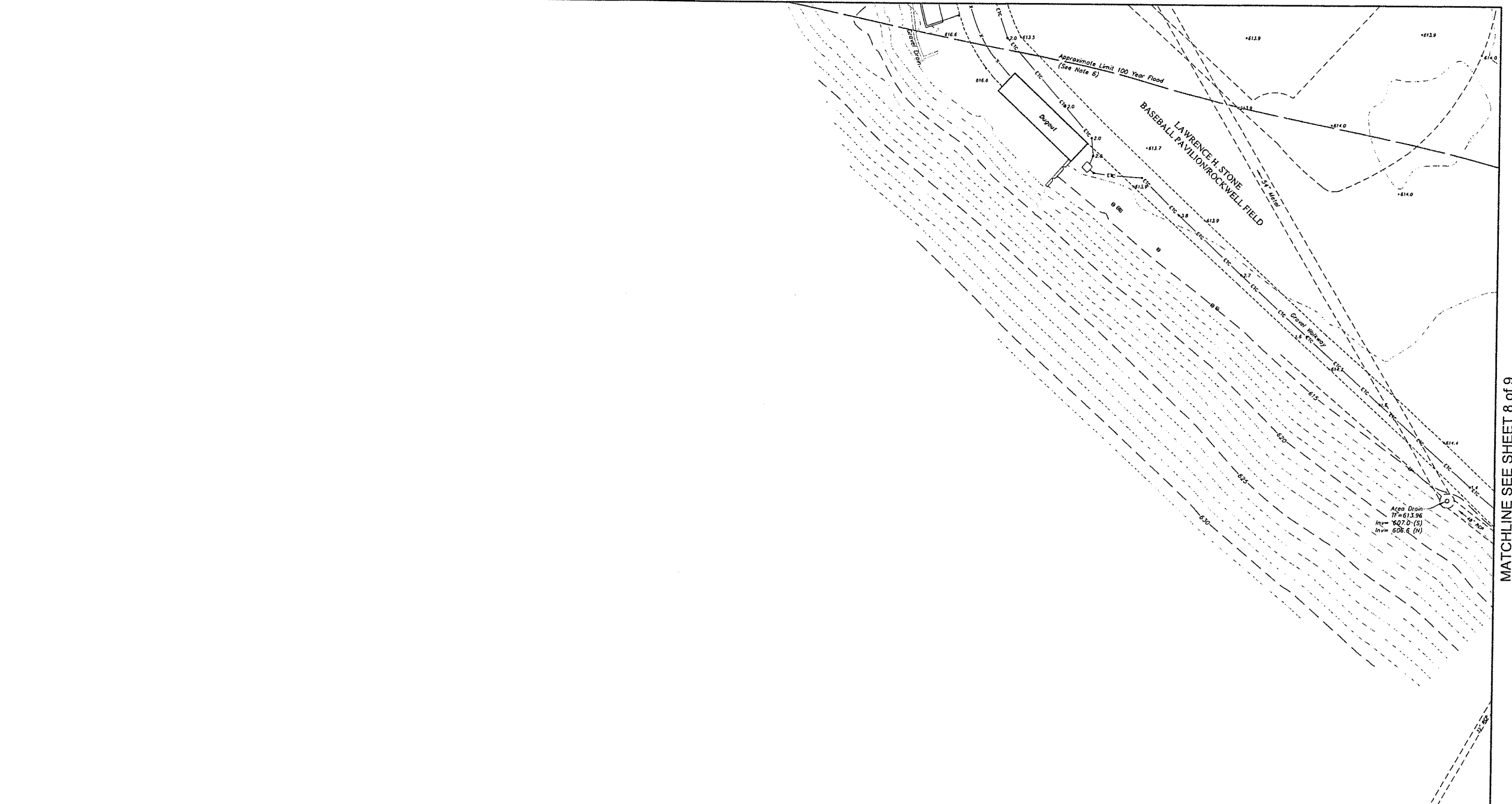
EX-6

SEE SHEET EX-1 FOR MAP NOTES.

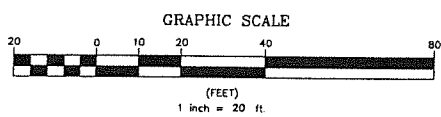
MATCHLINE SEE SHEET 4 of 9

EX-1	EX-2	EX-3
EX-4	EX-5	EX-6
EX-7	EX-8	EX-9

Key Map
Scale 1"=500'

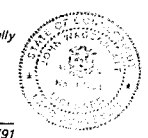


MATCHLINE SEE SHEET 8 of 9



Certification
To my knowledge and belief this map is substantially correct as noted hereon.

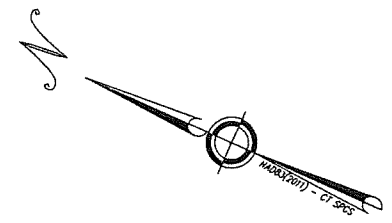
John S. Wagenblatt
JOHN S. WAGENBLATT L.S. No. 17,791



	Property Line
	Easement Line
	Index Contour
	Intermediate Contour
	Treseline
	Hedge/Shrub Line
	Stone Wall
	Retaining Wall
	Fence
	Guide Rail
	Stream/Edge of Water
	Limit of Wetlands
	Upland Review/Regulated Area
	Storm Sewer
	Sanitary Sewer
	Water Main
	Gas Main

Legend

	Electric Line		Catch Basin		Electric Handhole
	Telephone Line		Curbless Catch Basin		Unidentified Manhole
	Fiber Optic Line		Shrub		Irrigation Control Box
	Steam Line		Monument		Drainage Manhole
	Site Light Line		Iron Pin, Pipe, Rebar, Drill Hole		Sanitary Manhole
	Overhead Wire		Wetland Flag		Electric Manhole
	Concrete Surface		Sign		Telephone Manhole
	Gravel Surface		Ballard		Paved-Over Manhole
	Deciduous Tree		Existing Spot Grade		Manhole, Utility Type Unknown
	Coniferous Tree		Guy Wire		Domestic Water Well
			Mailbox		Lamp Post
			Utility Pole		Steam Manhole
			Water Valve		Double Light Pole
			Hydrant		Now or Formerly (in Title of)
			Gas Valve		
			Handicap Parking		
			End of Geophysical Information (Signal Lost)		



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Land Resource Consultants Engineering & Surveying, LLC
140 Main Street, Suite E
Cromwell, CT 06416
(860) 655-2177
81 Civic Center Plaza, Suite 204
Poughkeepsie, NY 12601
(845) 212-3880
www.lrcusa.com

SEE SHEET EX-1 FOR MAP NOTES.

TOPOGRAPHIC SURVEY
SHEET 7 of 9

TAFT SCHOOL
110 WOODBURY ROAD
TOWN OF WATERTOWN
LITCHFIELD COUNTY, CONNECTICUT

Design/Calc	JW	CAD File	EX24325801.dwg	Sheet No.
Drawn	RJ/RH	Project No.	24-3258	
Checked	JW	Date	12/12/2023	
Approved	JW	Scale	1"=20'	

EX-7

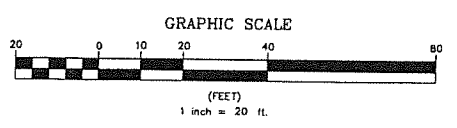
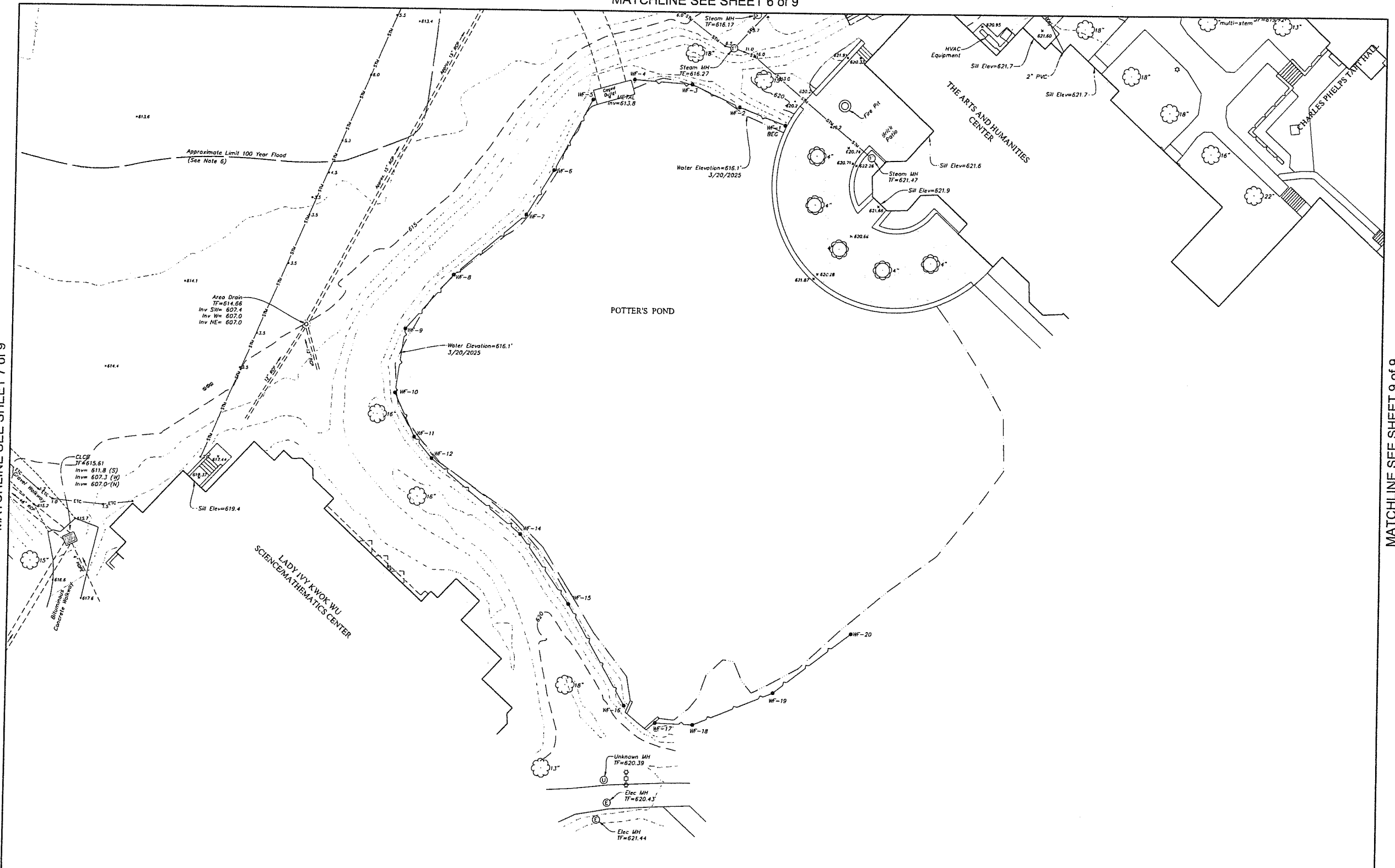
EX-1	EX-2	EX-3
EX-4	EX-5	EX-6
EX-7	EX-8	EX-9

Key Map
Scale 1"=500'

MATCHLINE SEE SHEET 6 of 9

MATCHLINE SEE SHEET 7 of 9

MATCHLINE SEE SHEET 9 of 9

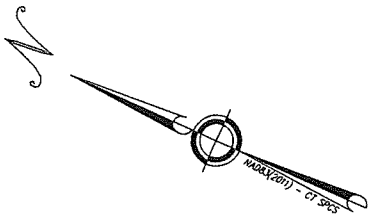


	Property Line
	Easement Line
	Index Contour
	Intermediate Contour
	Treeline
	Hedge/Shrub Line
	Stone Wall
	Retaining Wall
	Fence
	Guide Rail
	Stream/Edge of Water
	Limit of Wellands
	Upland Review/Regulated Area
	Storm Sewer
	Sanitary Sewer
	Water Main
	Gas Main

	Electric Line
	Telephone Line
	Fiber Optic Line
	Steam Line
	Site Light Line
	Overhead Wire
	Concrete Surface
	Gravel Surface
	Deciduous Tree
	Coniferous Tree

	Catch Basin
	Curbside Catch Basin
	Shrub
	Monument
	Iron Pin, Pipe, Rebar, Drill Hole
	Wetland Flag
	Sign
	Ballard
	Existing Spot Grade
	Guy Wire
	Mailbox
	Utility Pole
	Water Valve
	Hydrant
	Gas Valve
	Handicap Parking
	End of Geophysical Information (Signal Lost)

	Electric Handhole
	Unidentified Handhole
	Irrigation Control Box
	Drainage Manhole
	Sanitary Manhole
	Electric Manhole
	Telephone Manhole
	Paved-Over Manhole
	Manhole, Utility Type Unknown
	Domestic Water Well
	Lamp Post
	Steam Manhole
	Double Light Pole
	Now or Formerly (in Title of)



Certification
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JOHN F. WAGENBLATT L.S. No. 17,791



SEE SHEET EX-1 FOR MAP NOTES.

LRC

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- Subsurface Utility Engineering

Land Resource Consultants
Engineering & Surveying, LLC

140 West Street, Suite E
Cromwell, CT 06416
860.814.3477
65 Clock Tower Plaza, Suite 204
Fayetteville, NY 13601
645.213.2600
www.lrcsurvey.com

TOPOGRAPHIC SURVEY SHEET 8 OF 9

TAFT SCHOOL
110 WOODBURY ROAD
TOWN OF WATERTOWN
LITCHFIELD COUNTY, CONNECTICUT

Design/Code	JW	CAD File	EX24325801.dwg	Sheet No.
Drawn	RH/RH	Project No.	24-3258	
Checked	JW	Date	12/12/2025	
Approved	JW	Scale	1"=20'	

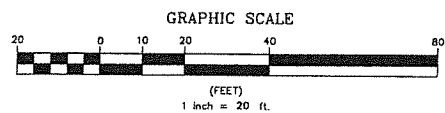
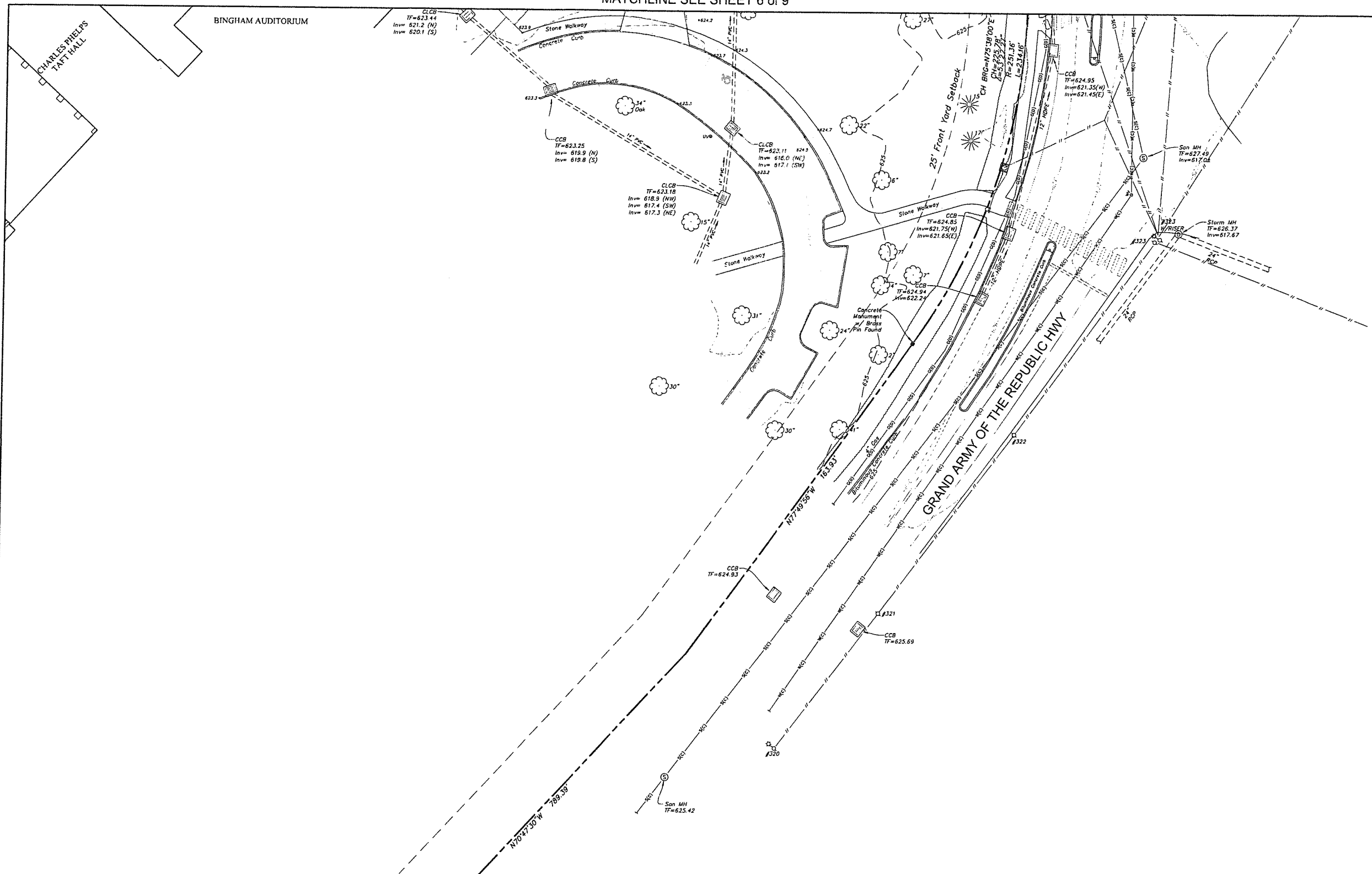
EX-8

EX-1	EX-2	EX-3
EX-4	EX-5	EX-6
EX-7	EX-8	EX-9

Key Map
Scale 1"=500'

MATCHLINE SEE SHEET 8 of 9

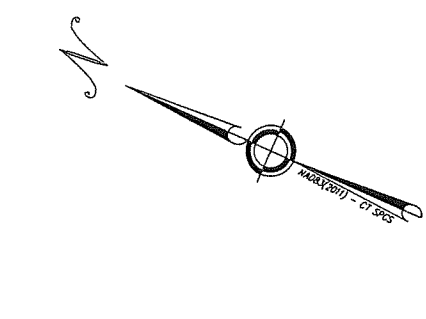
MATCHLINE SEE SHEET 6 of 9



	Property Line
	Easement Line
	Index Contour
	Intermediate Contour
	Treeline
	Hedge/Shrub Line
	Stone Wall
	Retaining Wall
	Fence
	Guide Rail
	Stream/Edge of Water
	Upland Review/Regulated Area
	Storm Sewer
	Sanitary Sewer
	Water Main
	Gas Main

	Concrete Surface
	Gravel Surface
	Deciduous Tree
	Coniferous Tree

	Catch Basin
	Curbside Catch Basin
	Shrub
	Monument
	Iron Pin, Pipe, Rebar, Drill Hole
	Wetland Flag
	Sign
	Ballast
	Existing Spot Grade
	Guy Wire
	Mailbox
	Utility Pole
	Water Valve
	Hydrant
	Gas Valve
	Handicap Parking
	End of Geophysical Information (Signal Lost)



Certification
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JOHN F. WAGENBLATT L.S. No. 17,791



 TOPOGRAPHIC SURVEY SHEET 9 OF 9 Taft School 110 WOODBURY ROAD TOWN OF WATERTOWN LITCHFIELD COUNTY, CONNECTICUT			
• Civil Engineering • Land Surveying • Landscape Architecture • Land Planning • Laser Scanning & BIM • Subsurface Utility Engineering Land Resource Consultants Engineering & Surveying, LLC 160 West Street, Suite E Cromwell, CT 06416 (860) 616-1677 85 Citicenter Plaza, Suite 204 Poughkeepsie, NY 12501 (845) 243-2900 www.lrgconsult.com	Design/Calc: JW CAD File: EX24325801.dwg Sheet No: Drawn: RM/RN Project No: 24-3258 Checked: JW Date: 12/12/2025 Approved: JW Scale: 1"=20'	EX-9	SEE SHEET EX-1 FOR MAP NOTES.



**Student Dormitory
The Taft School**

110 Waterbury Rd
Watertown, CT 06795

ARCHITECT
Voith & MacLavin Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-545-4544
voithandmacLavin.com

STRUCTURAL ENGINEER
Keast & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone 215-625-0099

MEP ENGINEER
Kohler-Ronan Consulting Engineers
93 Lake Ave
Danbury, CT 06810
phone 203-778-1017

CIVIL ENGINEER
Land Resource Consultants Engineering
& Surveying, LLC
160 West St Suite E
Cromwell, CT 06416
phone 860-635-2877

LANDSCAPE DESIGN
TL Studio
110 King Philip Rd Unit 2A
Rumford, RI 02916
phone 401-383-3574

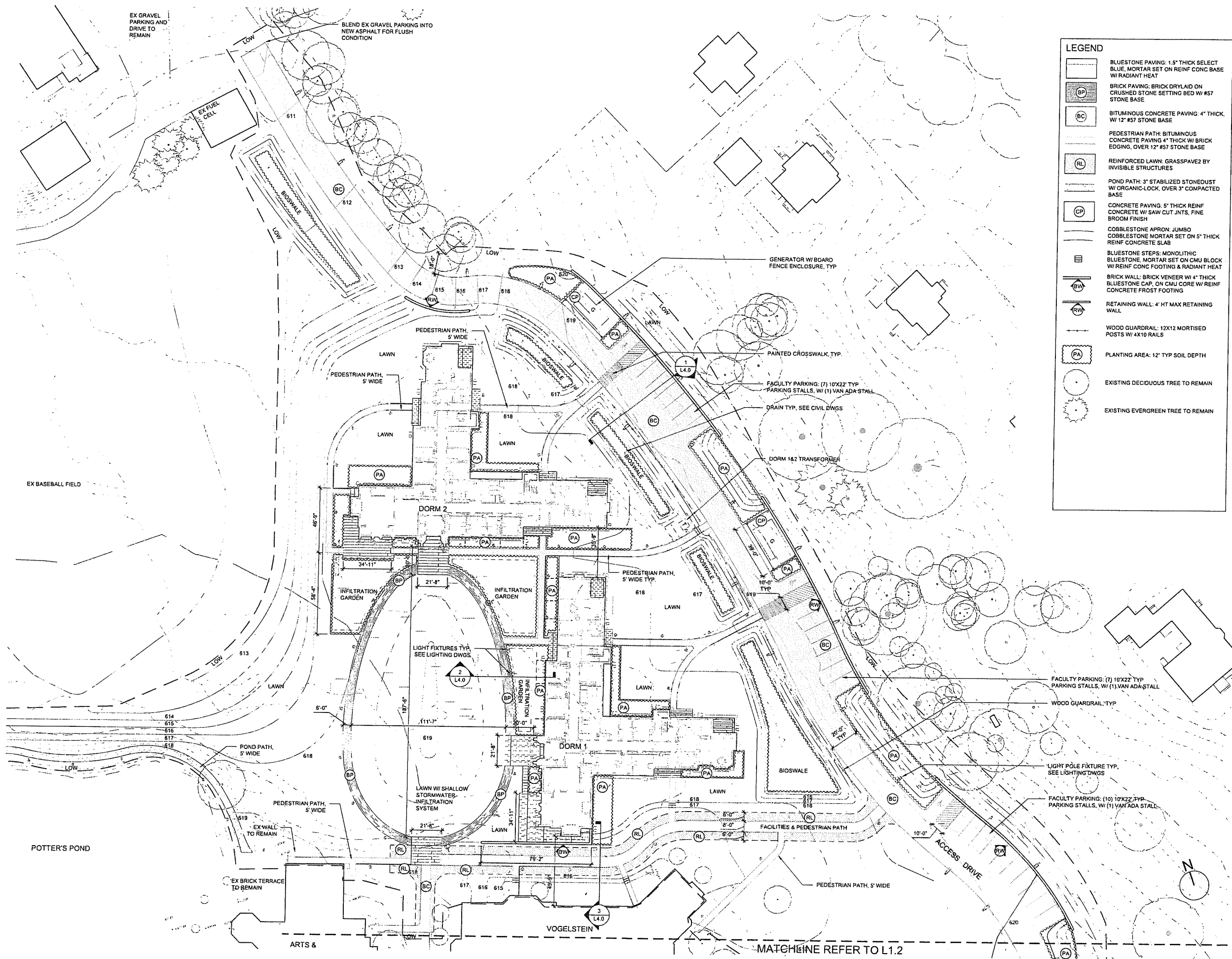
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NVS
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Philadelphia, PA 19107
phone 215-751-1133

LIGHTING DESIGN
O'Donohue Lighting
1816 S. 2nd St
Philadelphia, PA 19148
phone 215-518-4788

**ZONING SUBMISSION
NOT FOR CONSTRUCTION**

Revision
Date January 21, 2026
Title Overall Landscape Plan

Scale 1" = 60'-0"
Drawn By YZ, GS



LEGEND

	BLUESTONE PAVING: 1.5" THICK SELECT BLUE, MORTAR SET ON REINF CONC BASE W/ RADIANT HEAT
	BRICK PAVING: BRICK DRYLAID ON CRUSHED STONE SETTING BED W/ #57 STONE BASE
	BITUMINOUS CONCRETE PAVING: 4" THICK, W/ 12" #57 STONE BASE
	PEDESTRIAN PATH: BITUMINOUS CONCRETE PAVING 4" THICK W/ BRICK EDGING, OVER 12" #57 STONE BASE
	REINFORCED LAWN: GRASSPAVEZ BY INVISIBLE STRUCTURES
	POND PATH: 3" STABILIZED STONEDUST W/ ORGANIC-LOCK, OVER 3" COMPACTED BASE
	CONCRETE PAVING: 5" THICK REINF CONCRETE W/ SAW CUT JNTS, FINE BROOM FINISH
	COBBLESTONE APRON: JUMBO COBBLESTONE MORTAR SET ON 5" THICK REINF CONCRETE SLAB
	BLUESTONE STEPS: MONOLITHIC BLUESTONE, MORTAR SET ON CMU BLOCK W/ REINF CONC FOOTING & RADIANT HEAT
	BRICK WALL: BRICK VENEER W/ 4" THICK BLUESTONE CAP, ON CMU CORE W/ REINF CONCRETE FROST FOOTING
	RETAINING WALL: 4' HT MAX RETAINING WALL
	WOOD GUARDRAIL: 12X12 MORTISED POSTS W/ 4X10 RAILS
	PLANTING AREA: 12" TYP SOIL DEPTH
	EXISTING DECIDUOUS TREE TO REMAIN
	EXISTING EVERGREEN TREE TO REMAIN

**Student Dormitory
The Taft School**

110 Waterbury Rd
Watertown, CT 06795

ARCHITECT
Voith & Mactavish Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-545-4544
voithandmactavish.com

STRUCTURAL ENGINEER
Keast & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone 215-625-0099

MEP ENGINEER
Kohler Ronan Consulting Engineers
93 Lake Ave
Danbury, CT 06810
phone 203-778-1017

CIVIL ENGINEER
Land Resource Consultants Engineering & Surveying, LLC
160 West St Suite E
Cromwell, CT 06416
phone 860-635-2877

LANDSCAPE DESIGN
TL Studio
110 King Philip Rd Unit 2A
Rumford, RI 02916
phone 401-383-3574

AV / IT / SECURITY
NV5
1315 Walnut ST #900
Philadelphia, PA 19107
phone 215-751-1133

LIGHTING DESIGN
O'Donohoe Lighting
1816 S. 2nd St
Philadelphia, PA 19148
phone 215-518-4788

**ZONING SUBMISSION
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Revision
Date January 21, 2026
Title Dorm 1&2
Layout & Material Plan

Scale 1" = 30'-0"
Drawn By Y2, GS

Contractor to verify all dimensions on field and inform Architect of any discrepancies before starting work.

MATCHLINE REFER TO L1.2

Student Dormitory
The Taft School

110 Waterbury Rd
Watertown, CT 06795

ARCHITECT

Voith & Mactavish Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-545-4544
voithandmactavish.com

STRUCTURAL ENGINEER

Keast & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone 215-625-0099

MEP ENGINEER

Kohler Ronan Consulting Engineers
93 Lake Ave
Danbury, CT 06810
phone 203-773-1017

CIVIL ENGINEER

Land Resource Consultants Engineering
& Surveying, LLC
160 West St Suite E
Cromwell, CT 06416
phone 860-635-2877

LANDSCAPE DESIGN

TL Studio
110 King Philip Rd Unit 2A
Rumford, RI 02916
phone 401-393-3574

AV / IT / SECURITY

NVS
1315 Walnut St #900
Philadelphia, PA 19107
phone 215-751-1133

LIGHTING DESIGN

O'Donohoe Lighting
1816 S. 2nd St
Philadelphia, PA 19148
phone 215-518-4738

ZONING SUBMISSION

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












Revision
Date January 21, 2026
Title Main Circle
Layout & Material Plan

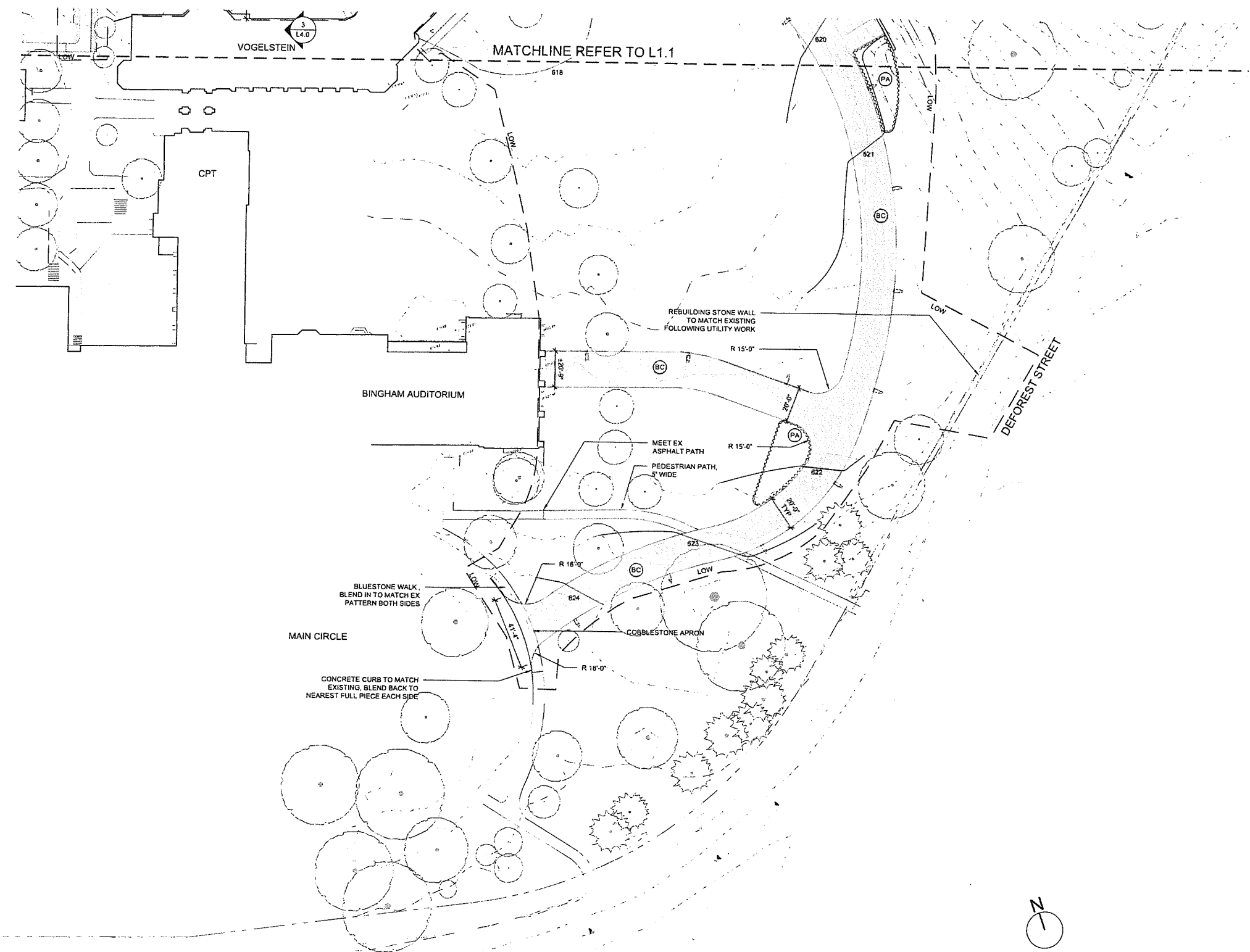
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Drawn By YZ, GS

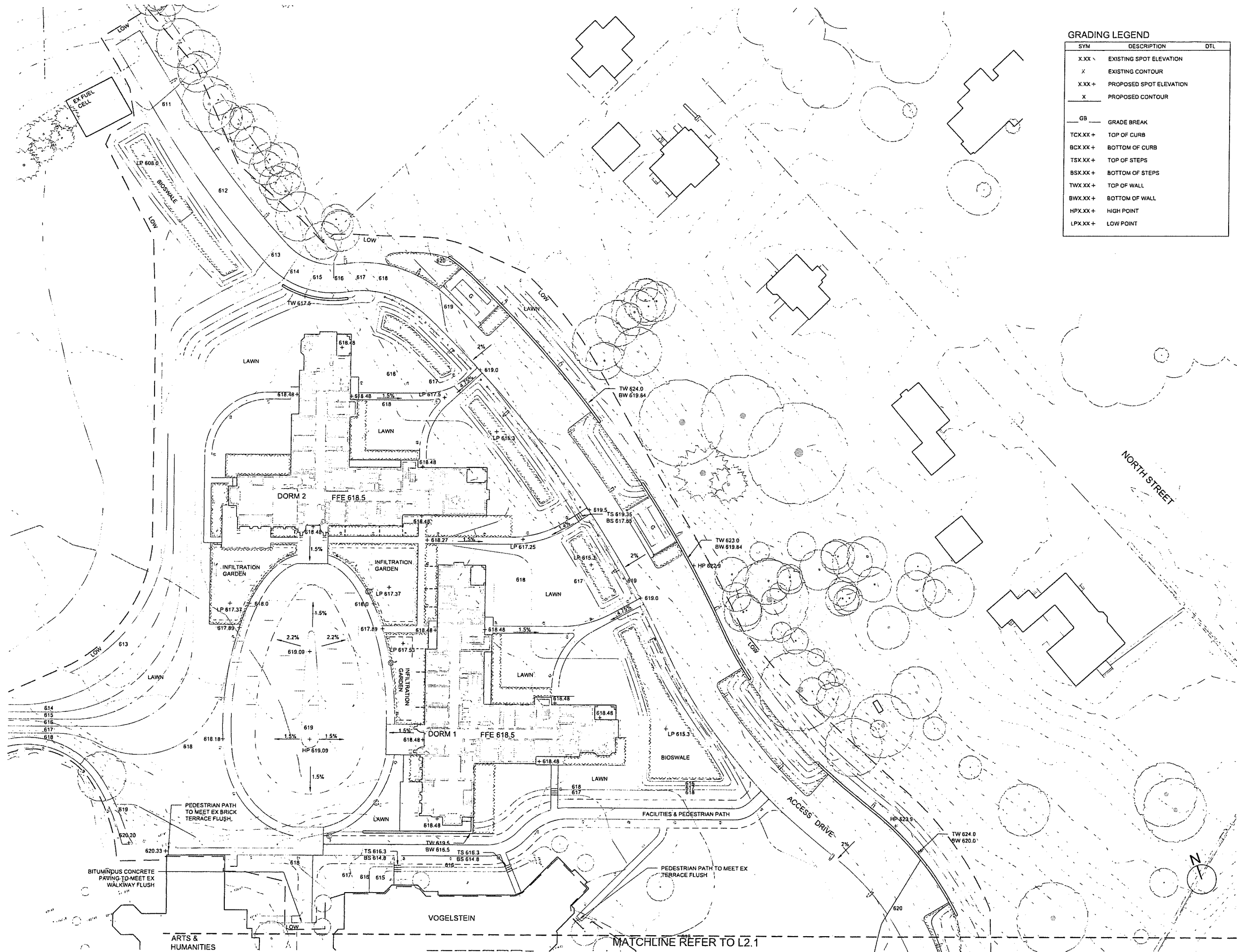
12

Contractor to verify all dimensions on field and inform
Architect of any discrepancies before starting work.

LEGEND

-  BLUESTONE PAVING: 1.5" THICK SELECT BLUE, MORTAR SET ON REINF CONC BASE W/ RADIANT HEAT
-  BRICK PAVING: BRICK DRYLAID ON CRUSHED STONE SETTING BED W/ #57 STONE BASE
-  BITUMINOUS CONCRETE PAVING: 4" THICK, W/ 12" #57 STONE BASE
-  PEDESTRIAN PATH: BITUMINOUS CONCRETE PAVING 4" THICK W/ BRICK EDGING, OVER 12" #57 STONE BASE
-  REINFORCED LAWN: GRASSPAVEZ BY INVISIBLE STRUCTURES
-  POND PATH: 3" STABILIZED STONEDUST W/ ORGANIC-LOCK, OVER 3" COMPACTED BASE
-  CONCRETE PAVING: 5" THICK REINF CONCRETE W/ SAW CUT JNTS, FINE BROOM FINISH
-  COBBLESTONE APRON: JUMBO COBBLESTONE MORTAR SET ON 5" THICK REINF CONCRETE SLAB
-  BLUESTONE STEPS: MONOLITHIC BLUESTONE, MORTAR SET ON CMU BLOCK W/ REINF CONC FOOTING & RADIANT HEAT
-  BRICK WALL: BRICK VENEER W/ 4" THICK BLUESTONE CAP, ON CMU CORE W/ REINF CONCRETE FROST FOOTING
-  RETAINING WALL: 4' HT MAX RETAINING WALL
-  WOOD GUARDRAIL: 12X12 MORTISED POSTS W/ 4X10 RAILS
-  PLANTING AREA: 12" TYP SOIL DEPTH
-  EXISTING DECIDUOUS TREE TO REMAIN
-  EXISTING EVERGREEN TREE TO REMAIN





GRADING LEGEND

SYM	DESCRIPTION	DTL
X.XX	EXISTING SPOT ELEVATION	
X	EXISTING CONTOUR	
X.XX +	PROPOSED SPOT ELEVATION	
X	PROPOSED CONTOUR	
GB	GRADE BREAK	
TCX.XX +	TOP OF CURB	
BCX.XX +	BOTTOM OF CURB	
TSX.XX +	TOP OF STEPS	
BSX.XX +	BOTTOM OF STEPS	
TWX.XX +	TOP OF WALL	
BWX.XX +	BOTTOM OF WALL	
HPX.XX +	HIGH POINT	
LPX.XX +	LOW POINT	

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ARCHITECT
Voith & Mactavish Architects LLP
2401 Walnut Street, 6th Floor
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phone 215-545-4544
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STRUCTURAL ENGINEER
Keast & Hood
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Philadelphia, PA 19103
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MEP ENGINEER
Kohler-Ronan Consulting Engineers
93 Lake Ave
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CIVIL ENGINEER
Land Resource Consultants Engineering
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160 West St Suite E
Cromwell, CT 06416
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LANDSCAPE DESIGN
TL Studio
110 King Philip Rd Unit 2A
Rumford, RI 02916
phone 401-383-3574

AV / IT / SECURITY
NVS
1315 Walnut St #900
Philadelphia, PA 19107
phone 215-751-1133

LIGHTING DESIGN
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1816 S. 2nd St
Philadelphia, PA 19148
phone 215-518-4788

**ZONING SUBMISSION
NOT FOR CONSTRUCTION**

Revision
Date: January 21, 2026
Title: Dorm 1&2 Grading Plan

Scale: 1" = 30'-0"
Drawn By: YZ, GS

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.

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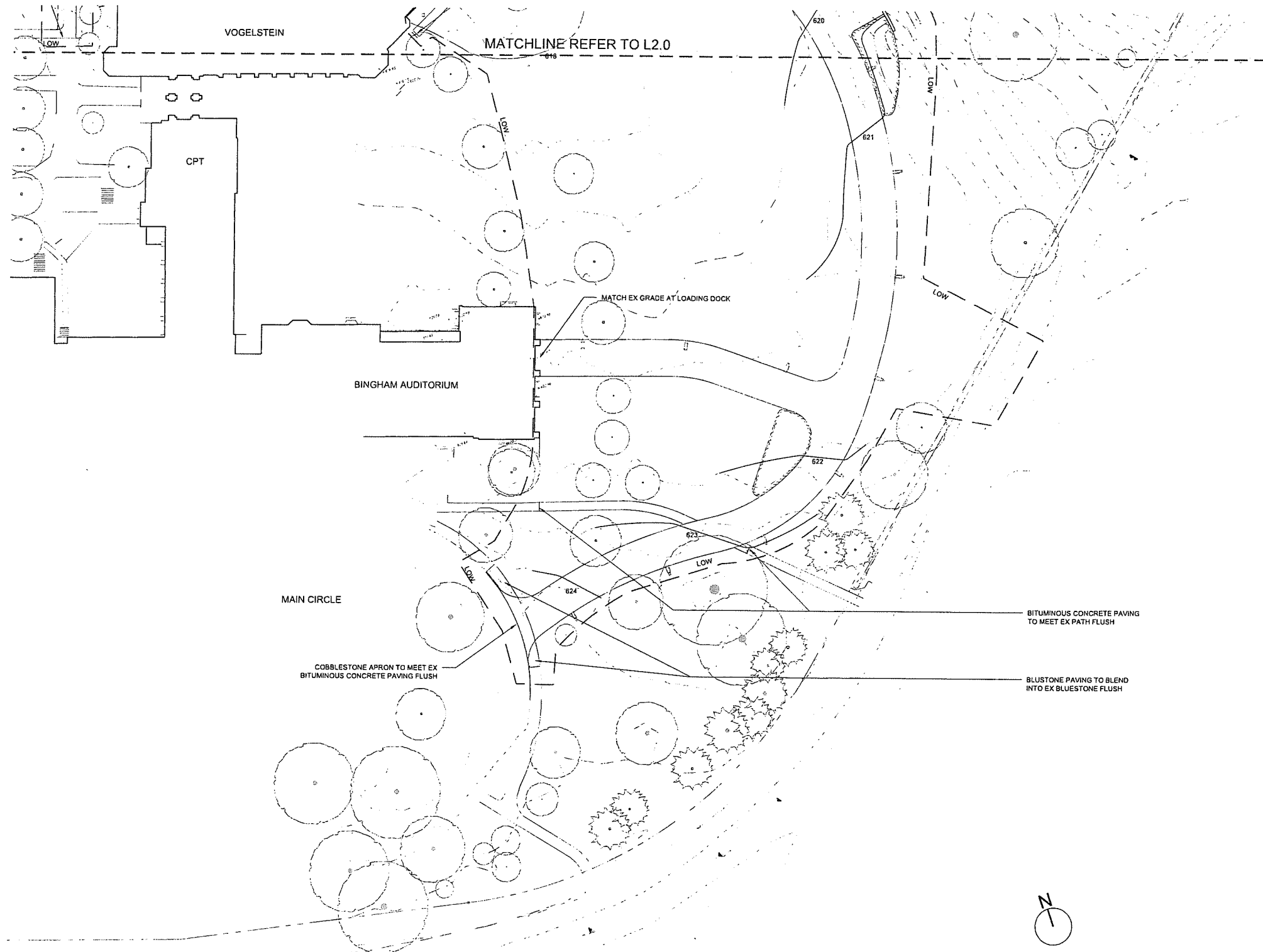
**ZONING SUBMISSION
NOT FOR CONSTRUCTION**

Revision
Date: January 21, 2026
Title: Main Circle Grading Plan

Scale: 1" = 30'-0"
Drawn By: YZ, GS

GRADING LEGEND

SYM	DESCRIPTION	DTL
X.XX \	EXISTING SPOT ELEVATION	
x	EXISTING CONTOUR	
X.XX +	PROPOSED SPOT ELEVATION	
x	PROPOSED CONTOUR	
GB	GRADE BREAK	
TCX.XX +	TOP OF CURB	
BCX.XX +	BOTTOM OF CURB	
TSX.XX +	TOP OF STEPS	
BSX.XX +	BOTTOM OF STEPS	
TWX.XX +	TOP OF WALL	
BWX.XX +	BOTTOM OF WALL	
HPX.XX +	HIGH POINT	
LPX.XX +	LOW POINT	



Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.

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The Taft School**

110 Waterbury Rd
Watertown, CT 06795

ARCHITECT

Voith & Mactavish Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-545-4544
voithandmactavish.com

STRUCTURAL ENGINEER

Keast & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone 215-625-0099

MEP ENGINEER

Kohler-Ronan Consulting Engineers
93 Lake Ave
Danbury, CT 06810
phone 203-778-1017

CIVIL ENGINEER

Land Resource Consultants Engineering
& Surveying, LLC
160 West St Suite E
Cromwell, CT 06416
phone 860-635-2877

LANDSCAPE DESIGN

TL Studio
110 King Philip Rd Unit 2A
Rumford, RI 02916
phone 401-383-3574

AV / IT / SECURITY

NVS
1315 Walnut St #900
Philadelphia, PA 19107
phone 215-751-1133

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O'Donohoe Lighting
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Philadelphia, PA 19148
phone 215-518-4788

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Revision
Date January 21, 2026
Title Dorm 152
Painting Plan

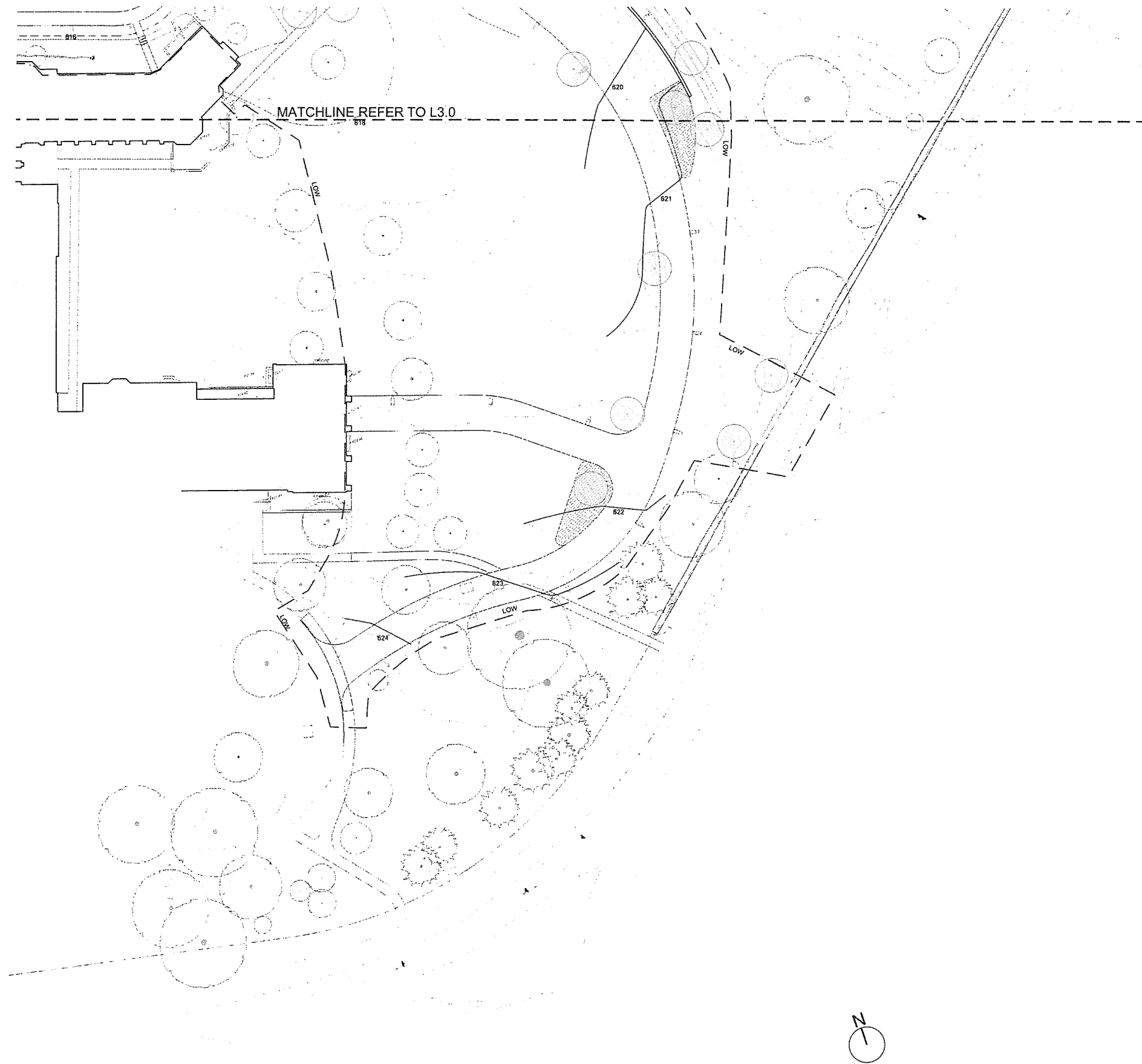
Scale 1" = 30'-0"
Drawn By YZ, GS

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SYMBOL	TYPE	SPECIES
	DECIDUOUS TREE 5-6" CAL (61)	Acer saccharum Liriodendron tulipifera Quercus alba Quercus rubra Tilia americana Ulmus americana 'Princeton'
	EVERGREEN TREE 8-10' HT (12)	Ilex opaca Juniperus virginiana Pinus resinosa Pinus strobus
	DECIDUOUS TREE 3-3.5" CAL (32)	Acer rubrum Betula alleghaniensis Nyssa sylvatica
	FLOWERING TREE 8-10' HT (56)	Amelanchier Cercis canadensis Cornus florida Magnolia virginiana
	INFILTRATION GARDEN PLANT MATERIAL	Arctostaphylos uva-ursi Aronia melanocarpa Carex pennsylvanica Dennislaetia punctilobula Ostrya virginiana Polystichum acrostichoides
	BIOSWALE PLANT MATERIAL	Aronia melanocarpa Eutrochium purpureum Ilex verticillata Panicum virgatum
	SHRUB & GROUNDCOVER	Carex pennsylvanica Ilex verticillata Liriope spicata Pachysandra terminalis Rhus aromatica 'Gro-Low'

MATCHLINE REFER TO L3.1



SYMBOL	TYPE	SPECIES
	DECIDUOUS TREE 5-6' CAL (61)	<i>Acer saccharum</i> <i>Liriodendron tulipifera</i> <i>Quercus alba</i> <i>Quercus rubra</i> <i>Tilia americana</i> <i>Ulmus americana 'Princeton'</i>
	EVERGREEN TREE 8-10' HT (12)	<i>Ilex opaca</i> <i>Juniperus virginiana</i> <i>Pinus resinosa</i> <i>Pinus strobus</i>
	DECIDUOUS TREE 3-3.5' CAL (32)	<i>Acer rubrum</i> <i>Betula alleghaniensis</i> <i>Nyssa sylvatica</i>
	FLOWERING TREE 8-10' HT (50)	<i>Amelanchier</i> <i>Cercis canadensis</i> <i>Cornus florida</i> <i>Magnolia virginiana</i>
	INFILTRATION GARDEN PLANT MATERIAL	<i>Arctostaphylos uva-ursi</i> <i>Aronia melanocarpa</i> <i>Carex pensylvanica</i> <i>Dennstaedtia punctilobula</i> <i>Ostrya Virginiana</i> <i>Polypodium acrostichoides</i>
	BIOSWALE PLANT MATERIAL	<i>Aronia melanocarpa</i> <i>Eutrochium purpureum</i> <i>Ilex verticillata</i> <i>Panicum virgatum</i>
	SHRUB & GROUNDCOVER	<i>Carex pensylvanica</i> <i>Ilex verticillata</i> <i>Liriodendron spicata</i> <i>Pachysandra terminalis</i> <i>Rhus aromatica 'Gro-Low'</i>

**Student Dormitory
The Taft School**

110 Waterbury Rd
Watertown, CT 06795

ARCHITECT
Voith & Mactavish Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-545-4544
voithandmactavish.com

STRUCTURAL ENGINEER
Kcarr & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone 215-625-0099

MEP ENGINEER
Kohler-Ronan Consulting Engineers
93 Lake Ave
Danbury, CT 06810
phone 203-778-0217

CIVIL ENGINEER
Land Resource Consultants Engineering
& Surveying, LLC
160 West St Suite E
Cromwell, CT 06416
phone 860-635-2877

LANDSCAPE DESIGN
TL Studio
110 King Philip Rd Unit 2A
Rumford, RI 02916
phone 401-383-3574

AV / IT / SECURITY
NVS
1315 Walnut ST #900
Philadelphia, PA 19107
phone 215-751-1133

LIGHTING DESIGN
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1815 S. 2nd St
Philadelphia, PA 19148
phone 215-518-4788

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Title Main Circle Planting Plan

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The Taft School

110 Waterbury Rd
Watertown, CT 06795

ARCHITECT
Voith & Mactavish Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-515-4544
voithandmactavish.com

STRUCTURAL ENGINEER
Keast & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone 215-625-0099

MEP ENGINEER
Kohler Roman Consulting Engineers
93 Lake Ave
Danbury, CT 06810
phone 203-778-1017

CIVIL ENGINEER
Land Resource Consultants Engineering
& Surveying, LLC
160 West St Suite E
Cromwell, CT 06416
phone 860-635-2877

LANDSCAPE DESIGN
TL Studio
110 King Philip Rd Unit 2A
Rumford, RI 02916
phone 401-383-3574

AV / IT / SECURITY
NV5
1315 Walnut St #900
Philadelphia, PA 19107
phone 215-751-1133

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O'Donoghue Lighting
1816 S. 2nd St
Philadelphia, PA 19148
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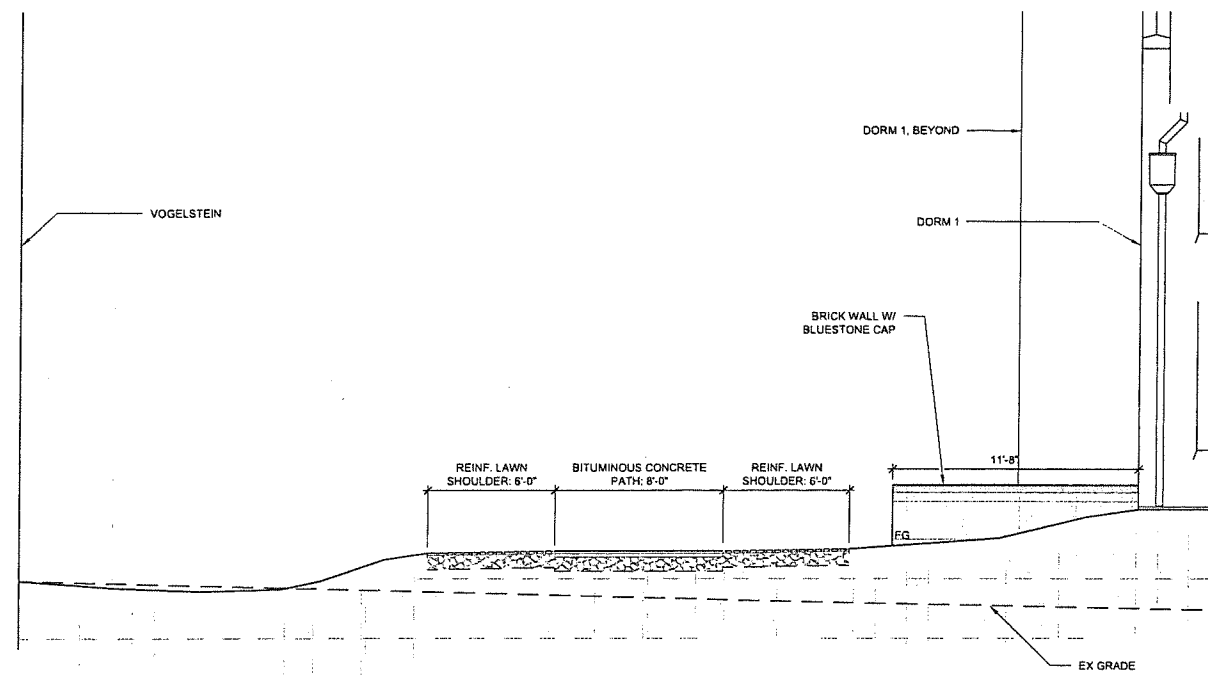
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Revision
Date January 21, 2026
Title Sections

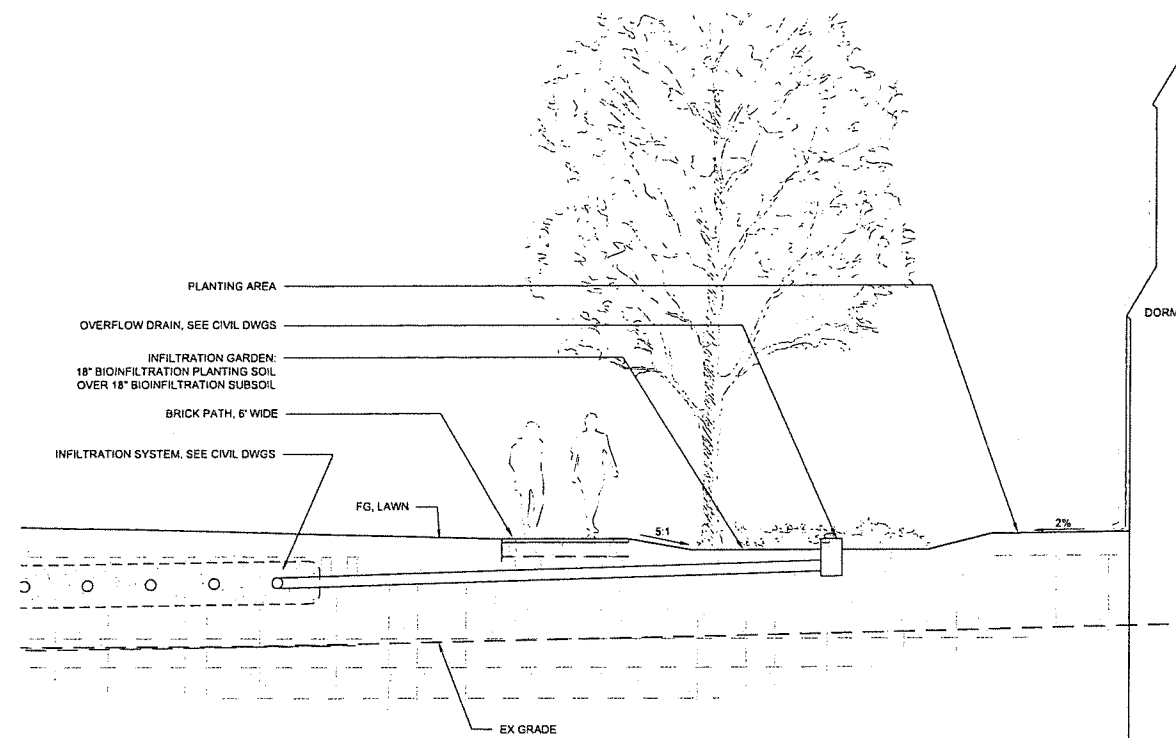
Scale As Noted
Drawn By YZ, GS

4.0

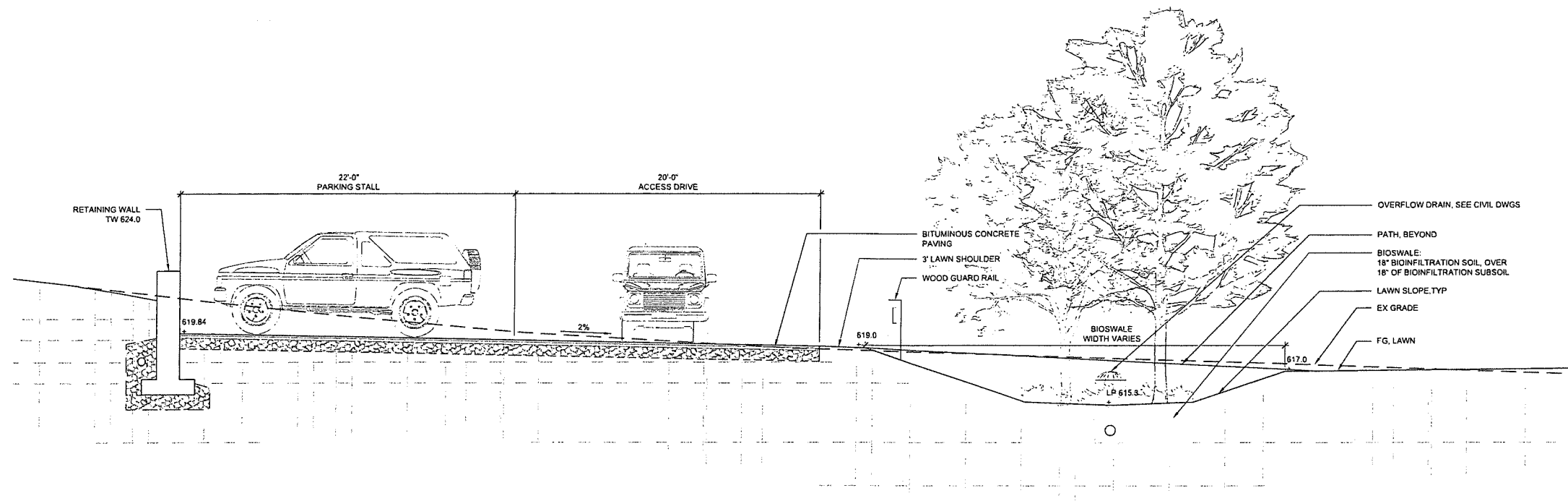
Consultor to verify all dimensions in field and inform
Architect of any discrepancies before starting work.



3 PATH W/ REINFORCED LAWN SHOULDER
1/4"=1'-0"



2 INFILTRATION GARDEN SECTION
1/4"=1'-0"



1 BIOSWALE & DRIVEWAY SECTION
1/4"=1'-0"

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The Taft School

110 Woodbury Rd
Watertown, CT 06795

VMA

ARCHITECT
Voith & Mactavish Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-545-4544
voithandmactavish.com

STRUCTURAL ENGINEER
Keast & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone 215-625-0099

MEP ENGINEER
Kohler Ronan Consulting Engineers
93 Lake Ave
Danbury, CT 06810
phone 203-778-1017

CIVIL ENGINEER
Land Resource Consultants Engineering
& Surveying, LLC
160 West St Suite E
Cromwell, CT 06416
phone 860-635-2877

LANDSCAPE DESIGN
TL Studio
269 D South Main St
Providence, RI 02903
phone 401-383-3574

AV / IT / SECURITY
NVS
1315 Walnut St #900
Philadelphia, PA 19107
phone 215-751-1133

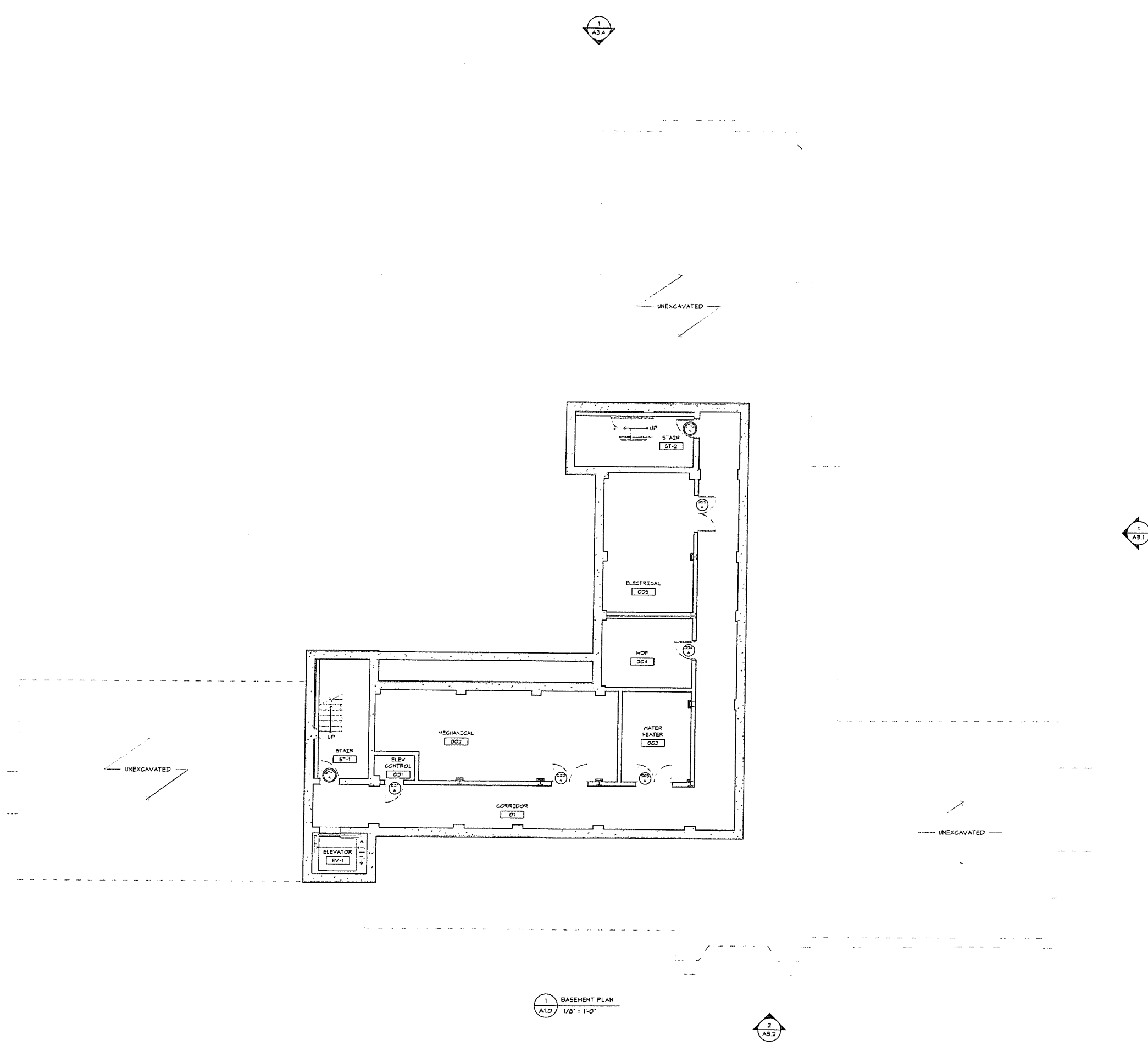
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Revision
Date January 21, 2026
Title BASEMENT FLOOR
PLAN
Scale As indicated
Drawn By RPD, JT, JPS

A1.0

Contractor to verify all dimensions in field and inform
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1 BASEMENT PLAN
A1.0 1/8" = 1'-0"

2
A3.2

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110 Woodbury Rd
Watertown, CT 06795

VMA

ARCHITECT
Voith & Mactavish Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-545-4544
voithandmactavish.com

STRUCTURAL ENGINEER
Keast & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone 215-625-0099

MEP ENGINEER
Kohler Ronan Consulting Engineers
93 Lake Ave
Danbury, CT 06810
phone 203-778-1017

CIVIL ENGINEER
Land Resource Consultants Engineering
& Surveying, LLC
160 West St Suite E
Cromwell, CT 06416
phone 860-635-2677

LANDSCAPE DESIGN
TL Studio
269 D South Main St
Providence, RI 02903
phone 401-383-3574

AV / IT / SECURITY
NVS
1315 Walnut St #900
Philadelphia, PA 19107
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LIGHTING DESIGN
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1816 S. 2nd St
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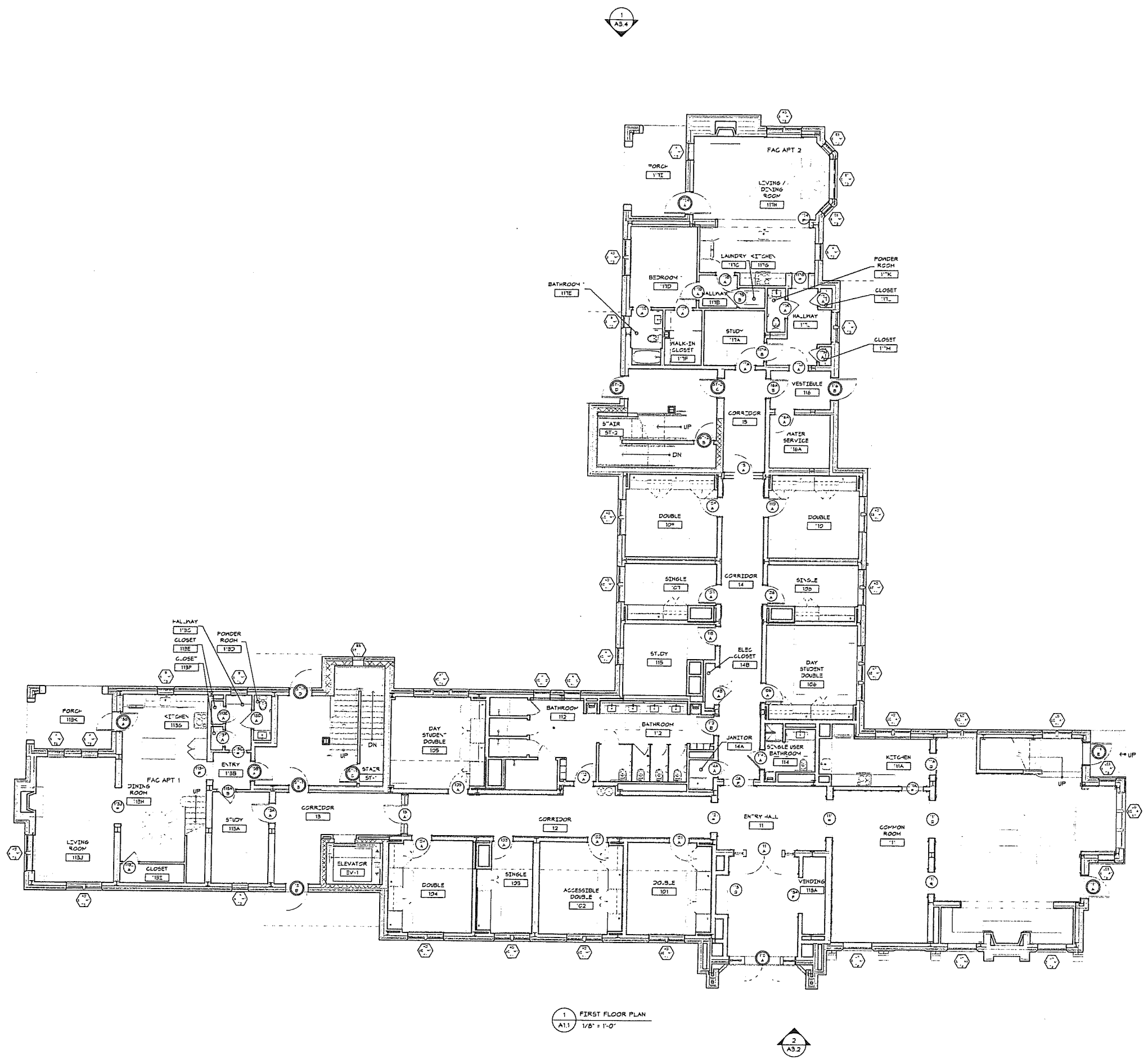
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Revision
Date January 21, 2026
Title FIRST FLOOR PLAN

Scale As indicated
Drawn By RPD, JT, JPS

A1.1

Contractor to verify all dimensions in field and inform
Architect of any discrepancies before starting work



1 FIRST FLOOR PLAN
A1.1 1/8" = 1'-0"

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110 Woodbury Rd
Watertown, CT 06795

VMA

ARCHITECT
Voith & Mactavish Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-545-4544
voithandmactavish.com

STRUCTURAL ENGINEER
Keast & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone 215-625-0099

MEP ENGINEER
Kahler Ronan Consulting Engineers
93 Lake Ave
Danbury, CT 06810
phone 203-773-1017

CIVIL ENGINEER
Land Resource Consultants Engineering
& Surveying, LLC
160 West St Suite E
Cromwell, CT 06416
phone 860-635-2877

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TL Studio
269 D South Main St
Providence, RI 02903
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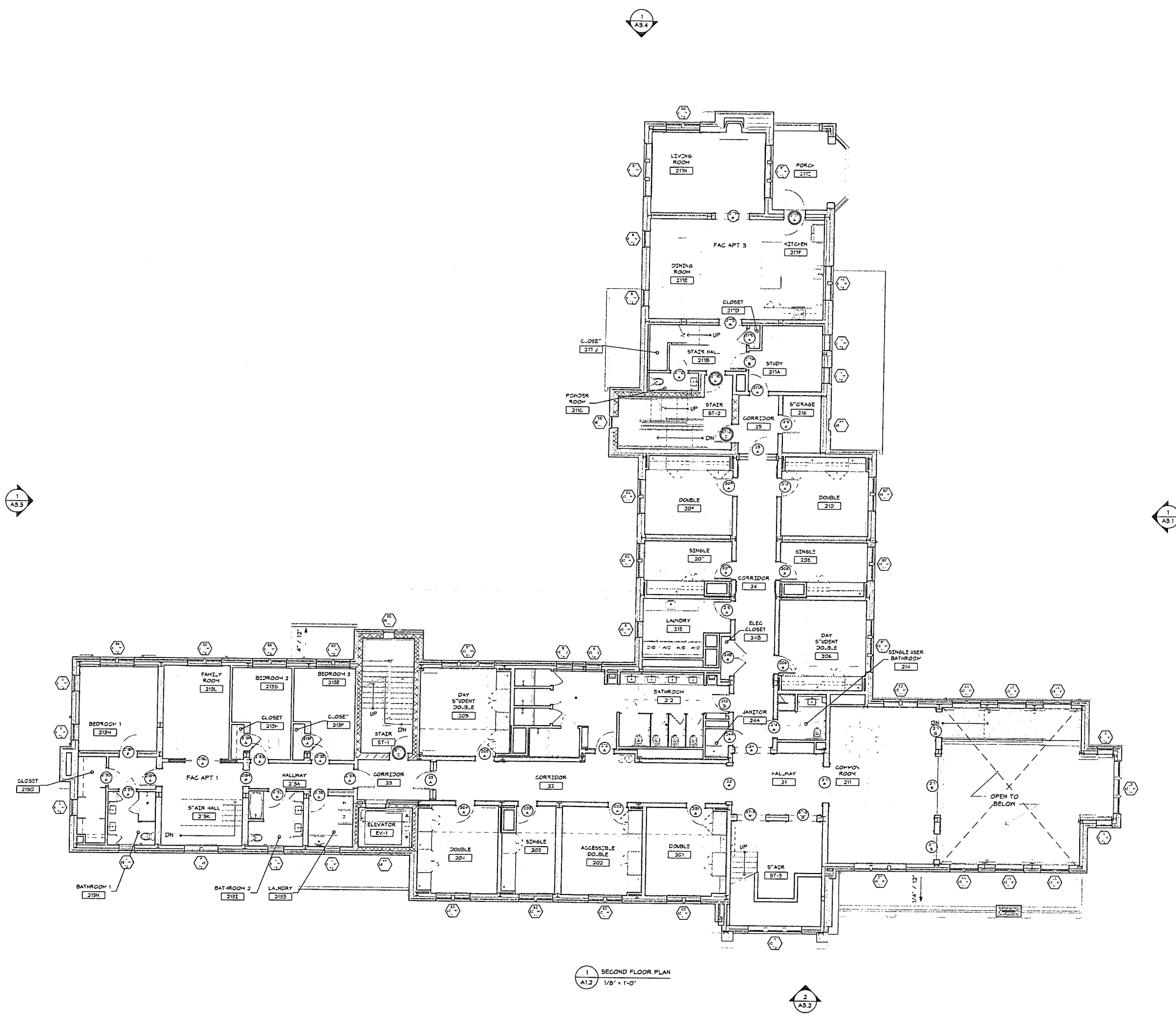
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Revision
Date January 21, 2026
Title SECOND FLOOR PLAN
Scale As indicated
Drawn By RPD, JT, JPS

A1.2

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1 SECOND FLOOR PLAN
A1.2 1/8" = 1'-0"

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110 Woodbury Rd
Watertown, CT 06795

VMA

ARCHITECT
Voith & Mactavish Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-545-4544
voithandmactavish.com

STRUCTURAL ENGINEER
Keast & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone 215-625-0099

MEP ENGINEER
Kahler Ronan Consulting Engineers
93 Lake Ave
Danbury, CT 06810
phone 203-778-1017

CIVIL ENGINEER
Land Resource Consultants Engineering
& Surveying, LLC
160 West St Suite E
Cromwell, CT 06416
phone 860-635-2877

LANDSCAPE DESIGN
TL Studio
269 D South Main St
Providence, RI 02903
phone 401-383-3574

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NVS
1315 Walnut St #900
Philadelphia, PA 19107
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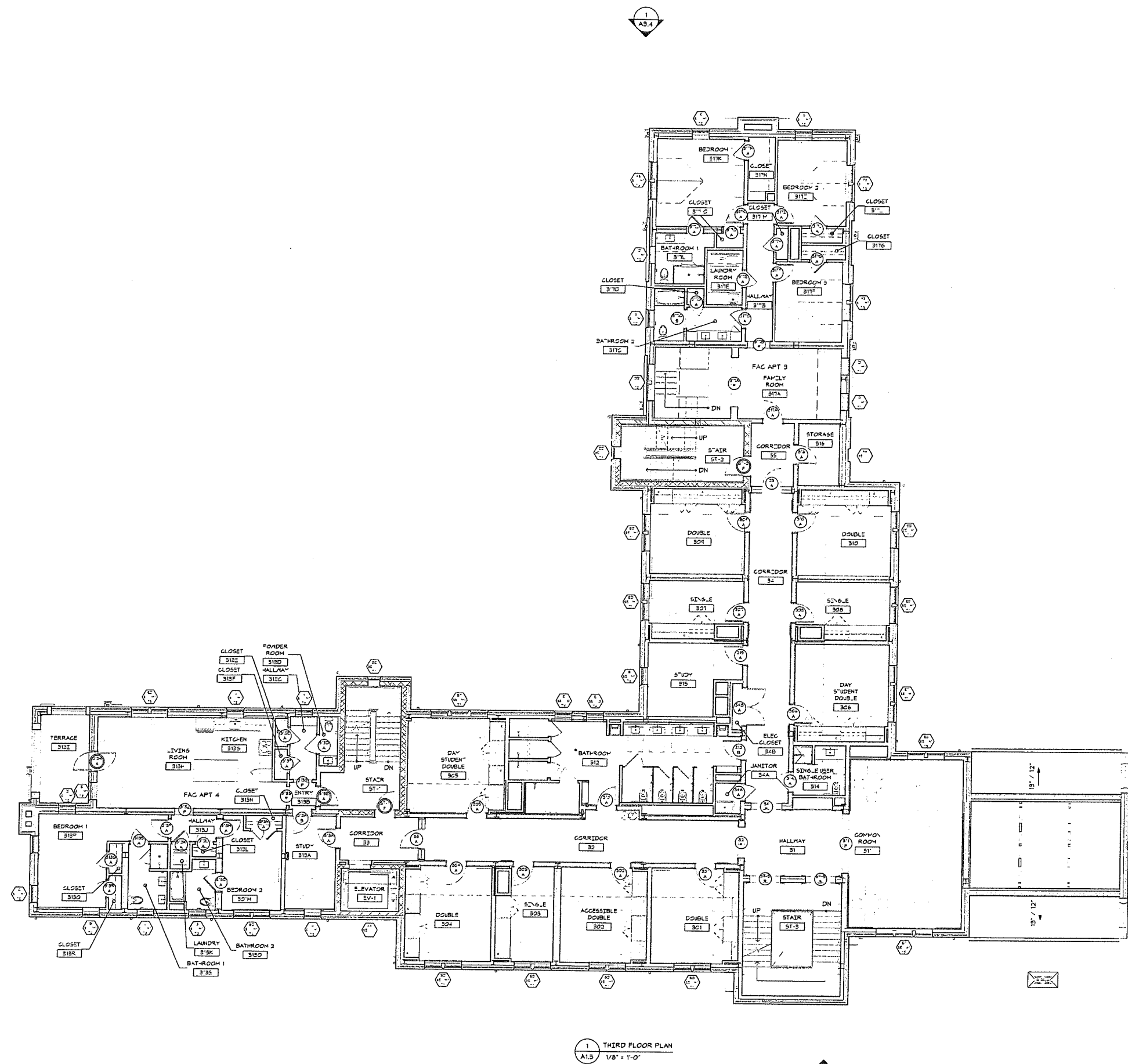
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Revision
Date January 21, 2026
Title THIRD FLOOR PLAN

Scale As indicated
Drawn By RPD, JT, JPS

A1.3

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work



1 THIRD FLOOR PLAN
A1.3 1/8" = 1'-0"

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110 Woodbury Rd
Watertown, CT 06795

VMA

ARCHITECT
Voith & Mactavish Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-545-4544
voithandmactavish.com

STRUCTURAL ENGINEER
Keast & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone 215-625-0099

MEP ENGINEER
Kohler Ronan Consulting Engineers
93 Lake Ave
Danbury, CT 06810
phone 203-779-1017

CIVIL ENGINEER
Land Resource Consultants Engineering
& Surveying, LLC
160 West St Suite E
Cromwell, CT 06416
phone 860-635-2877

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TL Studio
269 D South Main St
Providence, RI 02903
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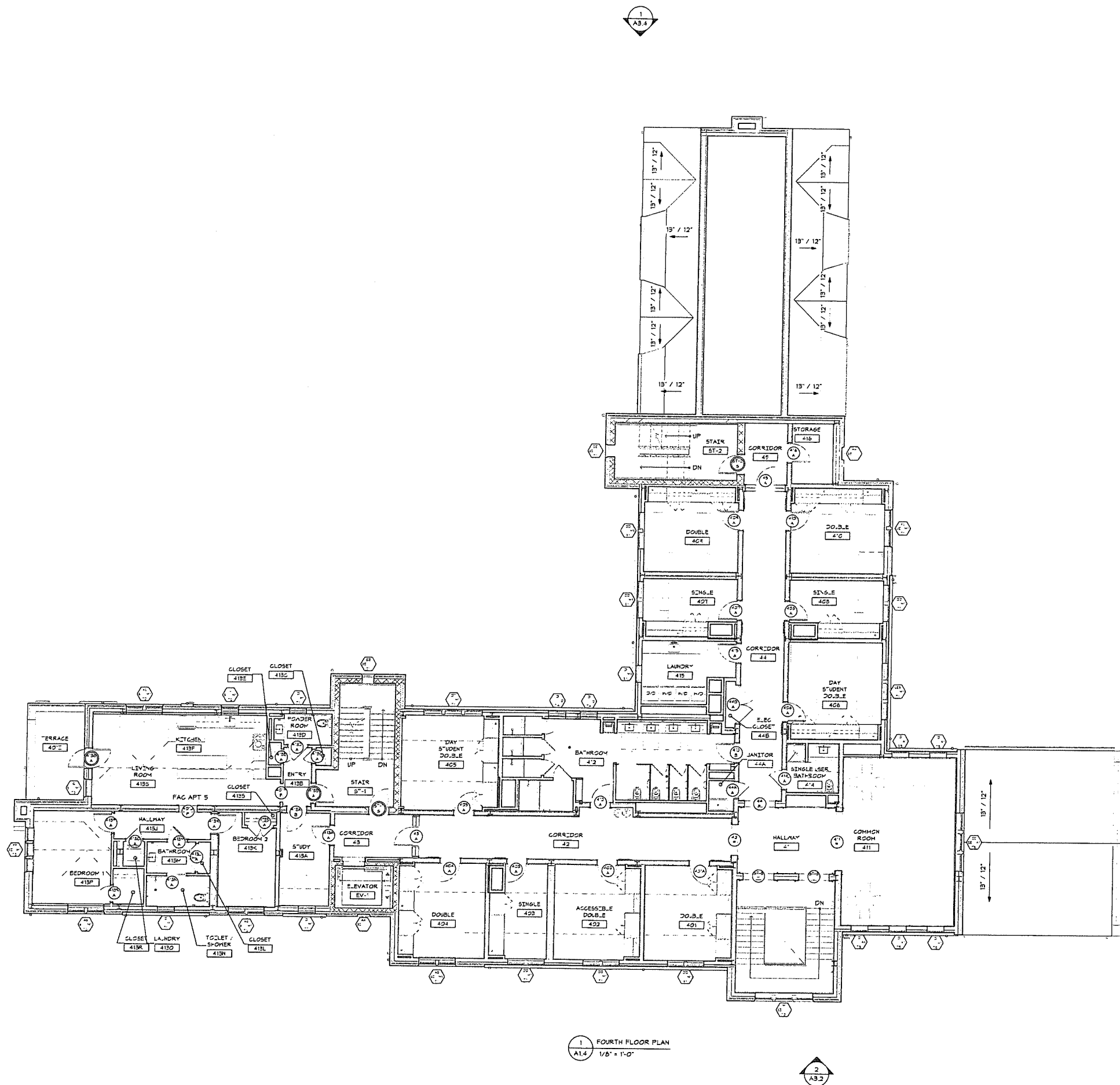
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ZONING SUBMISSION
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Revision
Date January 21, 2026
Title FOURTH FLOOR
PLAN
Scale As indicated
Drawn By RPD, JT, JPS

A1.4

Contractor to verify all dimensions in field and inform
Architect of any discrepancies before starting work.



1 FOURTH FLOOR PLAN
A1.4 1/8" = 1'-0"

2
A3.2

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110 Woodbury Rd
Watertown, CT 06795

VMA

ARCHITECT
Voith & Mactavish Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-545-4544
voithandmactavish.com

STRUCTURAL ENGINEER

Keast & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone 215-625-0099

MEP ENGINEER

Kohler Ronan Consulting Engineers
93 Lake Ave
Danbury, CT 06810
phone 203-778-1017

CIVIL ENGINEER

Land Resource Consultants Engineering
& Surveying, LLC
160 West St Suite E
Cromwell, CT 06416
phone 860-635-2877

LANDSCAPE DESIGN

TL Studio
269 D South Main St
Providence, RI 02903
phone 401-383-3574

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NVS
1315 Walnut St #900
Philadelphia, PA 19107
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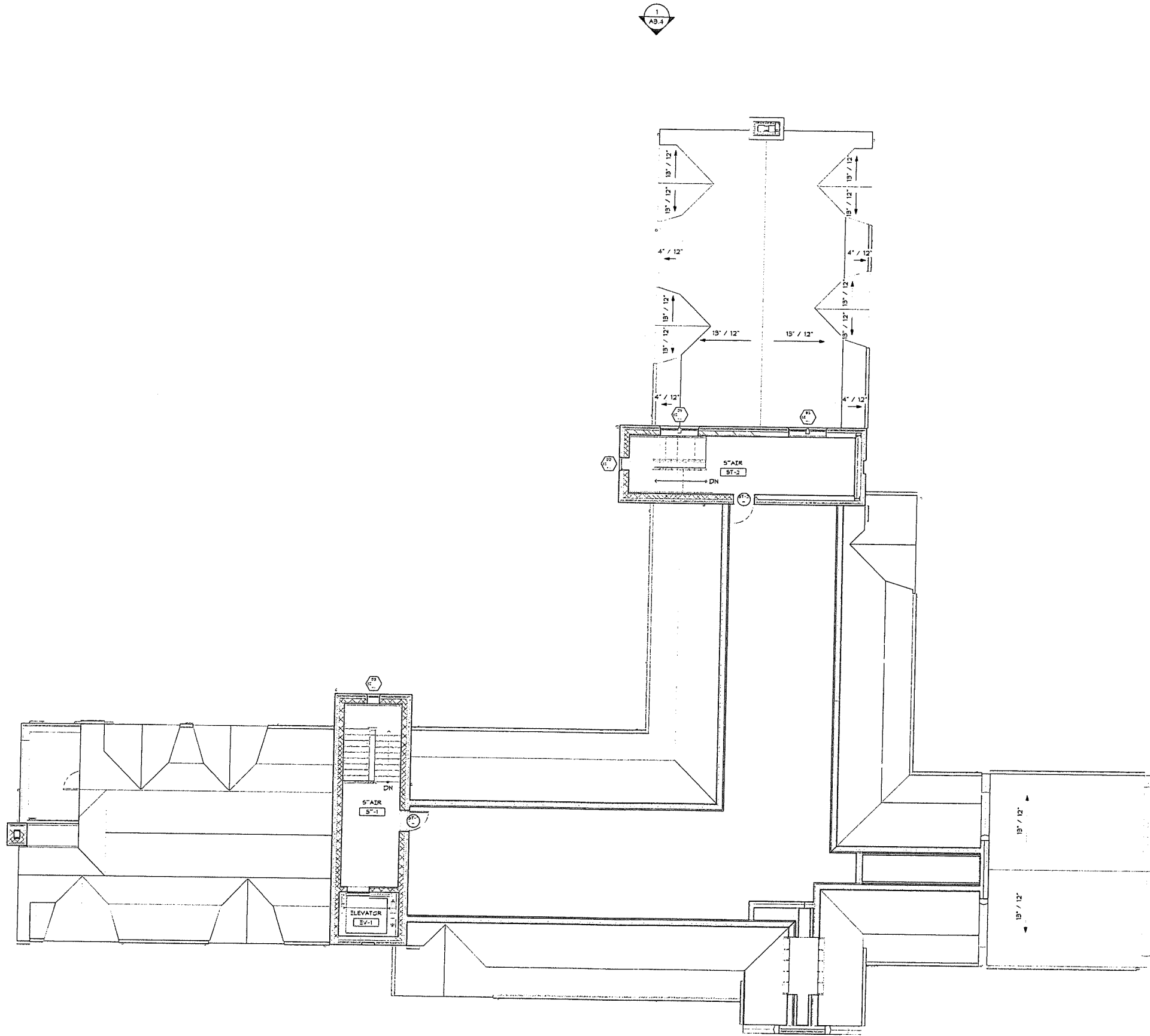
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Revision
Date January 21, 2026
Title ATTIC FLOOR PLAN

Scale As indicated
Drawn By RPD, JT, JPS

A1.5

Consultants to verify all dimensions on field and inform Architect of any discrepancies before starting work



1 ATTIC PLAN
A1.5 1/8" = 1'-0"



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110 Woodbury Rd
Watertown, CT 06795

VMA

ARCHITECT
Voith & Mactavish Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone: 215-545-4544
voithandmactavish.com

STRUCTURAL ENGINEER
Keast & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone: 215-625-0099

MEP ENGINEER
Kahler Ronan Consulting Engineers
93 Lake Ave
Danbury, CT 06810
phone: 203-778-1017

CIVIL ENGINEER
Land Resource Consultants Engineering
& Surveying, LLC
160 West St Suite E
Cromwell, CT 06416
phone: 860-635-3877

LANDSCAPE DESIGN
TL Studio
269 D South Main St
Providence, RI 02903
phone: 401-383-3574

AV / IT / SECURITY
NVS
1315 Walnut St #900
Philadelphia, PA 19107
phone: 215-751-1133

LIGHTING DESIGN
O'Donohue Lighting
1816 S. 2nd St
Philadelphia, PA 19148
phone: 215-518-4788

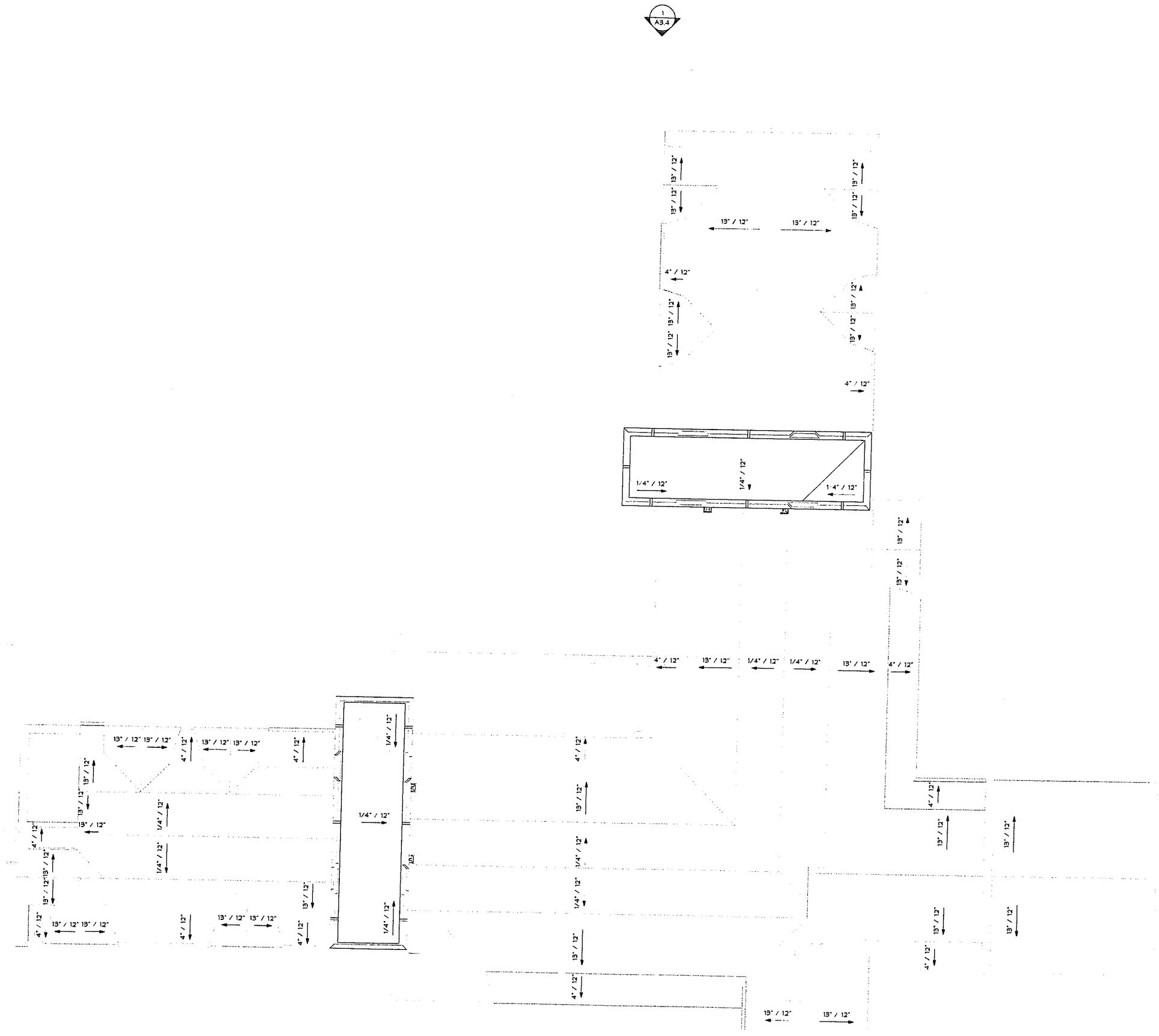
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Revision
Date January 21, 2026
Title ROOF PLAN

Scale As indicated
Drawn By RPD, JT, JPS

A1.6

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1 ROOF PLAN
A1.6 1/8" = 1'-0"



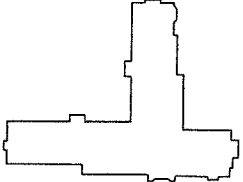
GENERAL NOTE:
FINISH FLOOR ELEVATION OF THE FIRST FLOOR
(0'-0") IS AT 618.5'. REFER TO CIVIL & LANDSCAPE
DRAWINGS

EXTERIOR ENVELOPE NOTES:

1. DOORS: PROVIDE 2 1/4" STAINED MAHOGANY
STYLE-AND-RAIL DOORS W/ PANEL PATTERN AS
SHOWN. INCLUDE STAINED WOOD MULLIONS AND
TRANSOMS WHERE INDICATED. PROVIDE FAUX
LEADED GLAZING AT LITES WHERE SHOWN.
HARDWARE TO BE STEEL HISTORIC REPLICA.
2. WINDOWS: THERMALLY BROKEN STEEL CASEMENT
WINDOWS WITH FAUX LEADED GLAZING. BASIS OF
DESIGN: HOPE'S.
3. BRICK VENEER: MATCH COLOR AND AGGREGATE OF
BRICK USED ON CHARLES PHELPS TAFT HALL



1 SOUTH ELEVATION
A3.1 1/8" = 1'-0"



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The Taft School

110 Woodbury Rd
Watertown, CT 06795

VMA

ARCHITECT
Voith & Maclavish Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-545-4544
voithandmaclavish.com

STRUCTURAL ENGINEER
Keast & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone 215-625-0099

MEP ENGINEER
Kehler Ronan Consulting Engineers
93 Lake Ave
Danbury, CT 06810
phone 203-778-1017

CIVIL ENGINEER
Land Resource Consultants Engineering
& Surveying, LLC
160 West St Suite E
Cromwell, CT 06416
phone 860-635-2877

LANDSCAPE DESIGN
TL Studio
269 D South Main St
Providence, RI 02903
phone 401-383-3574

AV / IT / SECURITY
NVS
1315 Walnut St #900
Philadelphia, PA 19107
phone 215-751-1133

LIGHTING DESIGN
O'Donohoe Lighting
1816 S. 2nd St
Philadelphia, PA 19148
phone 215-518-4788

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Date January 21, 2026
Title ELEVATIONS

Scale As indicated
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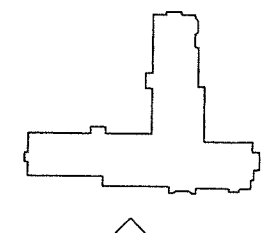
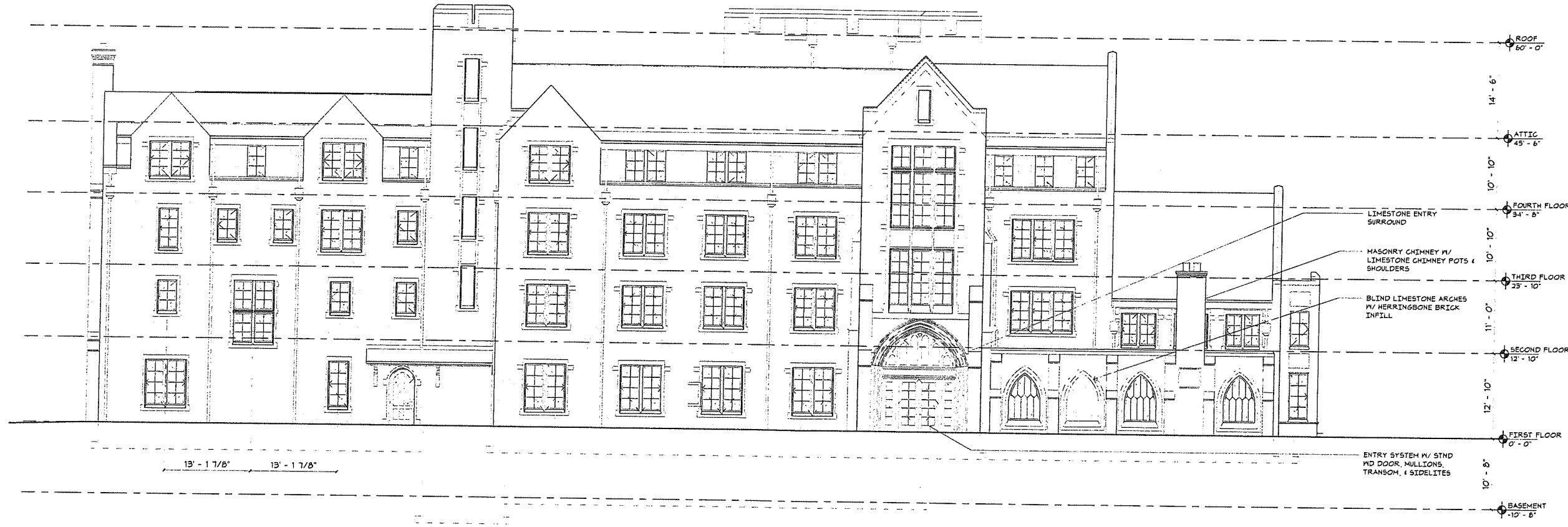
A3.1

Contractor to verify all dimensions in field and inform
Architect of any discrepancies before starting work.

GENERAL NOTE:
 FINISH FLOOR ELEVATION OF THE FIRST FLOOR (0'-0") IS AT 618.5'. REFER TO CIVIL & LANDSCAPE DRAWINGS

EXTERIOR ENVELOPE NOTES:

1. DOORS: PROVIDE 2 1/4" STAINED MAHOGANY STYLE-AND-RAIL DOORS W/ PANEL PATTERN AS SHOWN. INCLUDE STAINED WOOD MULLIONS AND TRANSOMS WHERE INDICATED. PROVIDE FAUX LEADED GLAZING AT LITES WHERE SHOWN. HARDWARE TO BE STEEL HISTORIC REPLICAS.
2. WINDOWS: THERMALLY BROKEN STEEL CASEMENT WINDOWS WITH FAUX LEADED GLAZING. BASIS OF DESIGN: HOPE'S.
3. BRICK VENEER: MATCH COLOR AND AGGREGATE OF BRICK USED ON CHARLES PHELPS TAFT HALL.



**Student Dormitory
 The Taft School**

110 Woodbury Rd
 Watertown, CT 06795

VMA

ARCHITECT
 Voith & MacLavin Architects LLP
 2401 Walnut Street, 6th Floor
 Philadelphia, PA 19103
 phone 215-545-4544
 voithandmacLavin.com

STRUCTURAL ENGINEER
 Keast & Hood
 1635 Market St #1705
 Philadelphia, PA 19103
 phone 215-625-0099

MEP ENGINEER
 Kahler Ronan Consulting Engineers
 93 Lake Ave
 Danbury, CT 06810
 phone 203-778-1017

CIVIL ENGINEER
 Land Resource Consultants Engineering
 & Surveying, LLC
 160 West St Suite E
 Cromwell, CT 06416
 phone 860-635-2877

LANDSCAPE DESIGN
 TL Studio
 269 D South Main St
 Providence, RI 02903
 phone 401-383-3574

AV / IT / SECURITY
 NVS
 1315 Walnut St #900
 Philadelphia, PA 19107
 phone 215-751-1133

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 O'Donoghue Lighting
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Revision
 Date January 21, 2026
 Title ELEVATIONS

Scale As indicated
 Drawn By RPD, JT, JPS

A3.2

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GENERAL NOTE:
FINISH FLOOR ELEVATION OF THE FIRST FLOOR (0'-0") IS AT 610.5'. REFER TO CIVIL & LANDSCAPE DRAWINGS

EXTERIOR ENVELOPE NOTES:

1. DOORS: PROVIDE 2 1/4" STAINED MAHOGANY STILE-AND-RAIL DOORS W/ PANEL PATTERN AS SHOWN. INCLUDE STAINED WOOD MULLIONS AND TRANSOMS WHERE INDICATED. PROVIDE FAUX LEADED GLAZING AT LITES WHERE SHOWN. HARDWARE TO BE STEEL HISTORIC REPLICA.
2. WINDOWS: THERMALLY BROKEN STEEL CASEMENT WINDOWS WITH FAUX LEADED GLAZING. BASIS OF DESIGN: HOPE'S.
3. BRICK VENEER: MATCH COLOR AND AGGREGATE OF BRICK USED ON CHARLES PHELPS TAFT HALL.

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110 Woodbury Rd
Watertown, CT 06795

VMA

ARCHITECT
Voith & Mactavish Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-545-4544
voithandmactavish.com

STRUCTURAL ENGINEER
Keast & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone 215-625-0099

MEP ENGINEER
Kohler Roman Consulting Engineers
93 Lake Ave
Danbury, CT 06810
phone 203-778-1017

CIVIL ENGINEER
Land Resource Consultants Engineering
& Surveying, LLC
160 West St Suite E
Cromwell, CT 06416
phone 860-635-2877

LANDSCAPE DESIGN
TL Studio
269 D South Main St
Providence, RI 02903
phone 401-383-3574

AV / IT / SECURITY
NVS
1315 Walnut St #900
Philadelphia, PA 19107
phone 215-751-1133

LIGHTING DESIGN
O'Donoghue Lighting
1816 S. 2nd St
Philadelphia, PA 19148
phone 215-518-4788

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Revision
Date January 21, 2026
Title ELEVATIONS

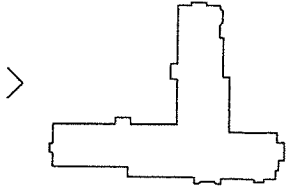
Scale As indicated
Drawn By RPD, JT, JPS

A3.3

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.



1 NORTH ELEVATION
A3.3 1/8" = 1'-0"



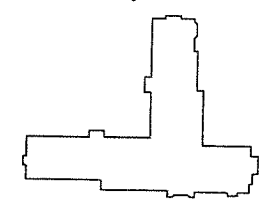
GENERAL NOTE:
FINISH FLOOR ELEVATION OF THE FIRST FLOOR
(0'-0") IS AT 618.5'. REFER TO CIVIL & LANDSCAPE
DRAWINGS

EXTERIOR ENVELOPE NOTES:

- DOORS: PROVIDE 2 1/4" STAINED MAHOGANY
STILE-AND-RAIL DOORS W/ PANEL PATTERN AS
SHOWN. INCLUDE STAINED WOOD MILLIONS AND
TRANSOMS WHERE INDICATED. PROVIDE FAUX
LEADED GLAZING AT LITES WHERE SHOWN.
HARDWARE TO BE STEEL HISTORIC REPLICA.
- WINDOWS: THERMALLY BROKEN STEEL CASEMENT
WINDOWS WITH FAUX LEADED GLAZING. BASIS OF
DESIGN: HOPE'S.
- BRICK VENEER: MATCH COLOR AND AGGREGATE OF
BRICK USED ON CHARLES PHELPS TAFT HALL.



1 EAST ELEVATION
A3.4 1/8" = 1'-0"



Student Dormitory
The Taft School

110 Woodbury Rd
Watertown, CT 06795

VMA

ARCHITECT
Voith & Mactavish Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-545-4544
voithandmactavish.com

STRUCTURAL ENGINEER
Keast & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone 215-625-0099

MEP ENGINEER
Kohler Ronan Consulting Engineers
93 Lake Ave
Danbury, CT 06810
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Land Resource Consultants Engineering
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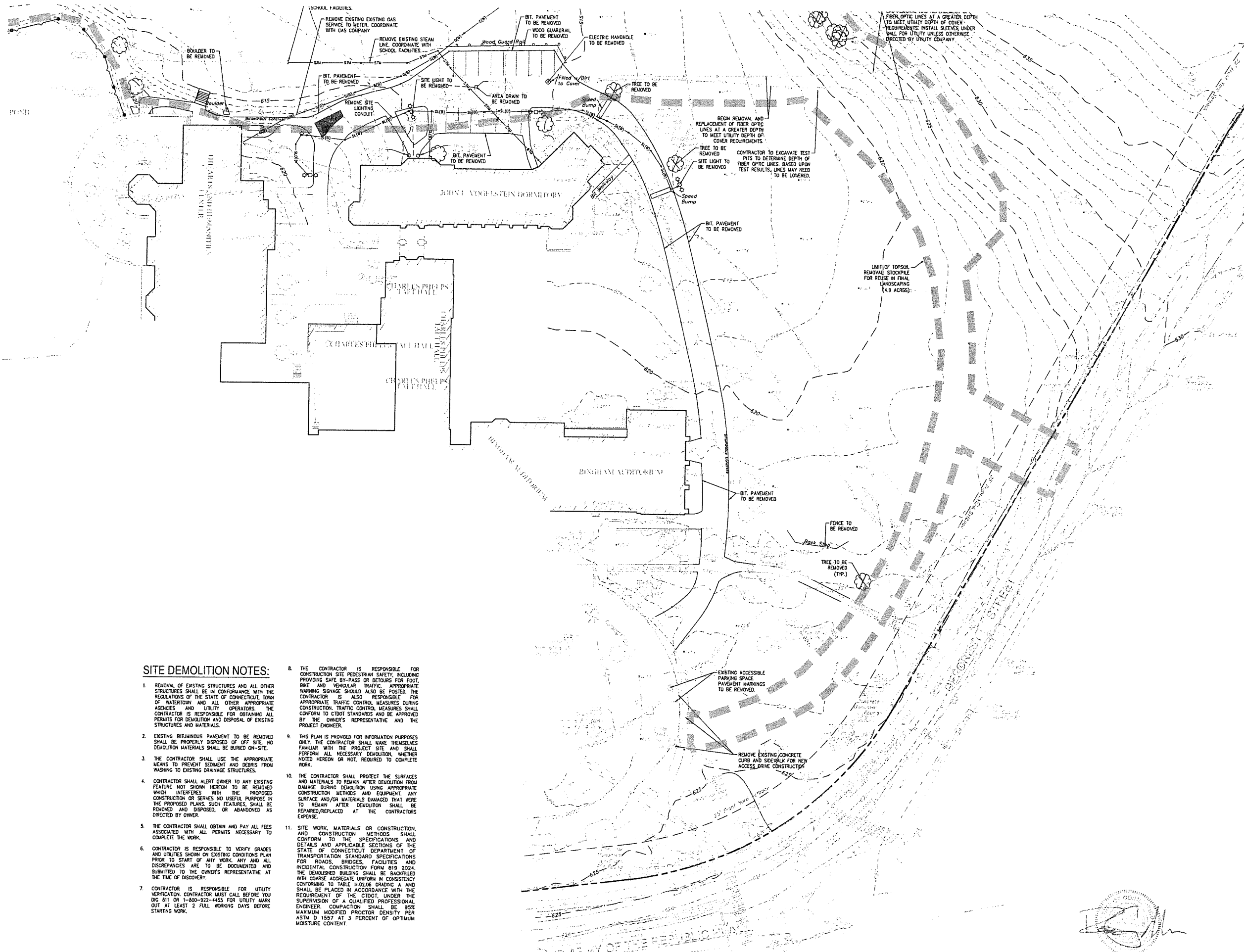
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NV5
1315 Walnut St #900
Philadelphia, PA 19107
phone 215-751-1133

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1816 S. 2nd St
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A3.4

Contractor to verify all dimensions in field and inform
Architect of any discrepancies before starting work



SITE DEMOLITION NOTES:

1. REMOVAL OF EXISTING STRUCTURES AND ALL OTHER STRUCTURES SHALL BE IN CONFORMANCE WITH THE REGULATIONS OF THE STATE OF CONNECTICUT, TOWN OF WATERBURY AND ALL OTHER APPROPRIATE AGENCIES AND UTILITY OPERATORS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS FOR DEMOLITION AND DISPOSAL OF EXISTING STRUCTURES AND MATERIALS.
2. EXISTING BITUMINOUS PAVEMENT TO BE REMOVED SHALL BE PROPERLY DISPOSED OF OFF SITE. NO DEMOLITION MATERIALS SHALL BE BURIED ON-SITE.
3. THE CONTRACTOR SHALL USE THE APPROPRIATE MEANS TO PREVENT SEDIMENT AND DEBRIS FROM WASHING TO EXISTING DRAINAGE STRUCTURES.
4. CONTRACTOR SHALL ALERT OWNER TO ANY EXISTING FEATURE NOT SHOWN HEREON TO BE REMOVED WHICH INTERFERES WITH THE PROPOSED CONSTRUCTION OR SERVES NO USEFUL PURPOSE IN THE PROPOSED PLANS. SUCH FEATURES SHALL BE REMOVED AND DISPOSED, OR ABANDONED AS DIRECTED BY OWNER.
5. THE CONTRACTOR SHALL OBTAIN AND PAY ALL FEES ASSOCIATED WITH ALL PERMITS NECESSARY TO COMPLETE THE WORK.
6. CONTRACTOR IS RESPONSIBLE TO VERIFY GRADES AND UTILITIES SHOWN ON EXISTING CONDITIONS PLAN PRIOR TO START OF ANY WORK. ANY AND ALL DISCREPANCIES ARE TO BE DOCUMENTED AND SUBMITTED TO THE OWNER'S REPRESENTATIVE AT THE TIME OF DISCOVERY.
7. CONTRACTOR IS RESPONSIBLE FOR UTILITY VERIFICATION. CONTRACTOR MUST CALL BEFORE YOU DIG 811 OR 1-800-922-4455 FOR UTILITY MARK OUT AT LEAST 2 FULL WORKING DAYS BEFORE STARTING WORK.
8. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SITE PEDESTRIAN SAFETY, INCLUDING PROVIDING SAFE BY-PASS OR DETOURS FOR FOOT, BIKE AND VEHICULAR TRAFFIC. APPROPRIATE WARNING SIGNAGE SHOULD ALSO BE POSTED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR APPROPRIATE TRAFFIC CONTROL MEASURES DURING CONSTRUCTION. TRAFFIC CONTROL MEASURES SHALL CONFORM TO CTDOT STANDARDS AND BE APPROVED BY THE OWNER'S REPRESENTATIVE AND THE PROJECT ENGINEER.
9. THIS PLAN IS PROVIDED FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL MAKE THEMSELVES FAMILIAR WITH THE PROJECT SITE AND SHALL PERFORM ALL NECESSARY DEMOLITION, WHETHER NOTED HEREON OR NOT, REQUIRED TO COMPLETE WORK.
10. THE CONTRACTOR SHALL PROTECT THE SURFACES AND MATERIALS TO REMAIN AFTER DEMOLITION FROM DAMAGE DURING DEMOLITION USING APPROPRIATE CONSTRUCTION METHODS AND EQUIPMENT. ANY SURFACE AND/OR MATERIALS DAMAGED THAT WERE TO REMAIN AFTER DEMOLITION SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE.
11. SITE WORK, MATERIALS OR CONSTRUCTION, AND CONSTRUCTION METHODS SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION FORM 819 2024. THE DEMOLISHED BUILDING SHALL BE BACKFILLED WITH COARSE AGGREGATE UNIFORM IN CONSISTENCY CONFORMING TO TABLE M.02.06 GRADING A AND SHALL BE PLACED IN ACCORDANCE WITH THE REQUIREMENT OF THE CTDOT UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. COMPACTION SHALL BE 95% MAXIMUM MODIFIED PROCTOR DENSITY PER ASTM D 1557 AT 3 PERCENT OF OPTIMUM MOISTURE CONTENT.

Student Dormitory
The Taft School
 110 Woodbury Rd
 Watertown, CT 06795

ARCHITECT
 Voth & Macavish Architects LLP
 2401 Walnut Street, 8th Floor
 Philadelphia, PA 19103
 phone 215-545-4544
 fax 215-545-3299
 vothandmacavish.com

STRUCTURAL ENGINEER
 Keast & Hood
 1635 Market St #1705
 Philadelphia, PA 19103
 phone (215) 625-0099
 keasthood.com

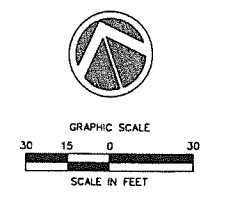
MEP ENGINEER
 Kohler Ronan Consulting Engineers
 93 Lake Ave
 Danbury, CT 06810
 phone (203) 778-1017
 kohleronan.com

CIVIL ENGINEER
 Land Resource Consultants Engineering & Surveying, LLC
 180 West Street Suite E
 Cromwell, CT 06416
 phone (860) 635-2877
 lrcconsult.com

LANDSCAPE DESIGN
 TL Studio
 110 King Philip Road Unit 2A
 Rumford, RI 02816
 phone (401) 383-3574
 tlstudioinc.com

AVIATION/SECURITY
 NV5
 1315 Walnut St #900
 Philadelphia, PA 19107
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LIGHTING DESIGN
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 1816 S. 2nd Street
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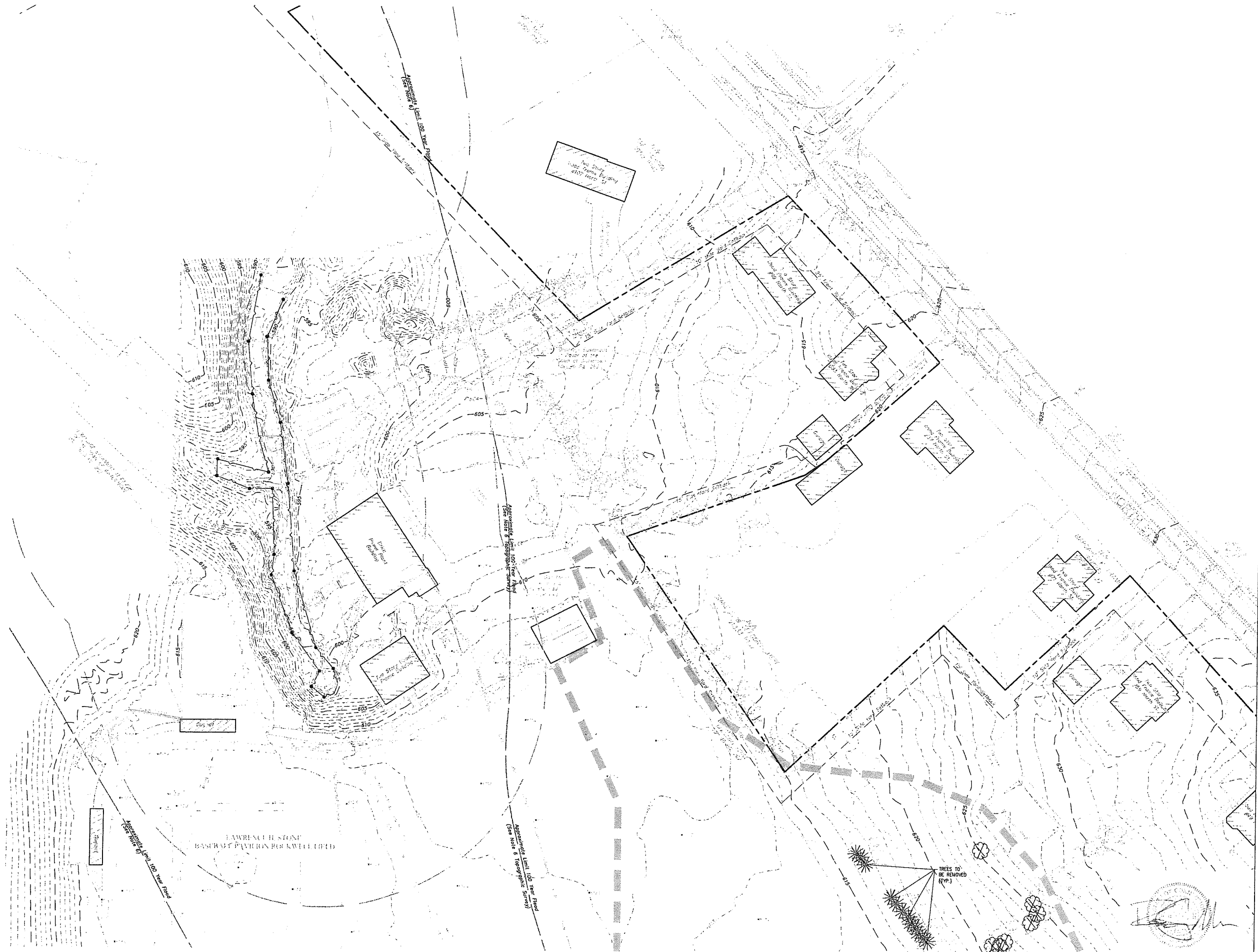


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Revision
 Date: January 21, 2026
 Title: DORM 1 & 2
 Scale: 1"=30'
 Drawn By: HT/RR

C1.2

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.



Student Dormitory
The Taft School
 110 Woodbury Rd
 Watertown, CT 06795

ARCHITECT
 Voith & MacLaveh Architects LLP
 2421 Walnut Street, 6th Floor
 Philadelphia, PA 19103
 phone 215-545-4544
 fax 215-545-3299
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 Keast & Hood
 1635 Market St #1705
 Philadelphia, PA 19103
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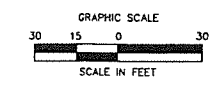
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 Kohler Roman Consulting Engineers
 93 Lake Ave
 Danbury, CT 06810
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CIVIL ENGINEER
 Land Resource Consultants Engineering & Surveying, LLC
 160 West Street Suite E
 Cromwell, CT 06416
 phone (860) 635-2877
 lrccpsuill.com

LANDSCAPE DESIGN
 TL Studio
 110 King Philip Road Unit 2A
 Rumford, RI 02815
 phone (401) 383-3574
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AVT/SECURITY
 NV5
 1315 Walnut St #900
 Philadelphia, PA 19107
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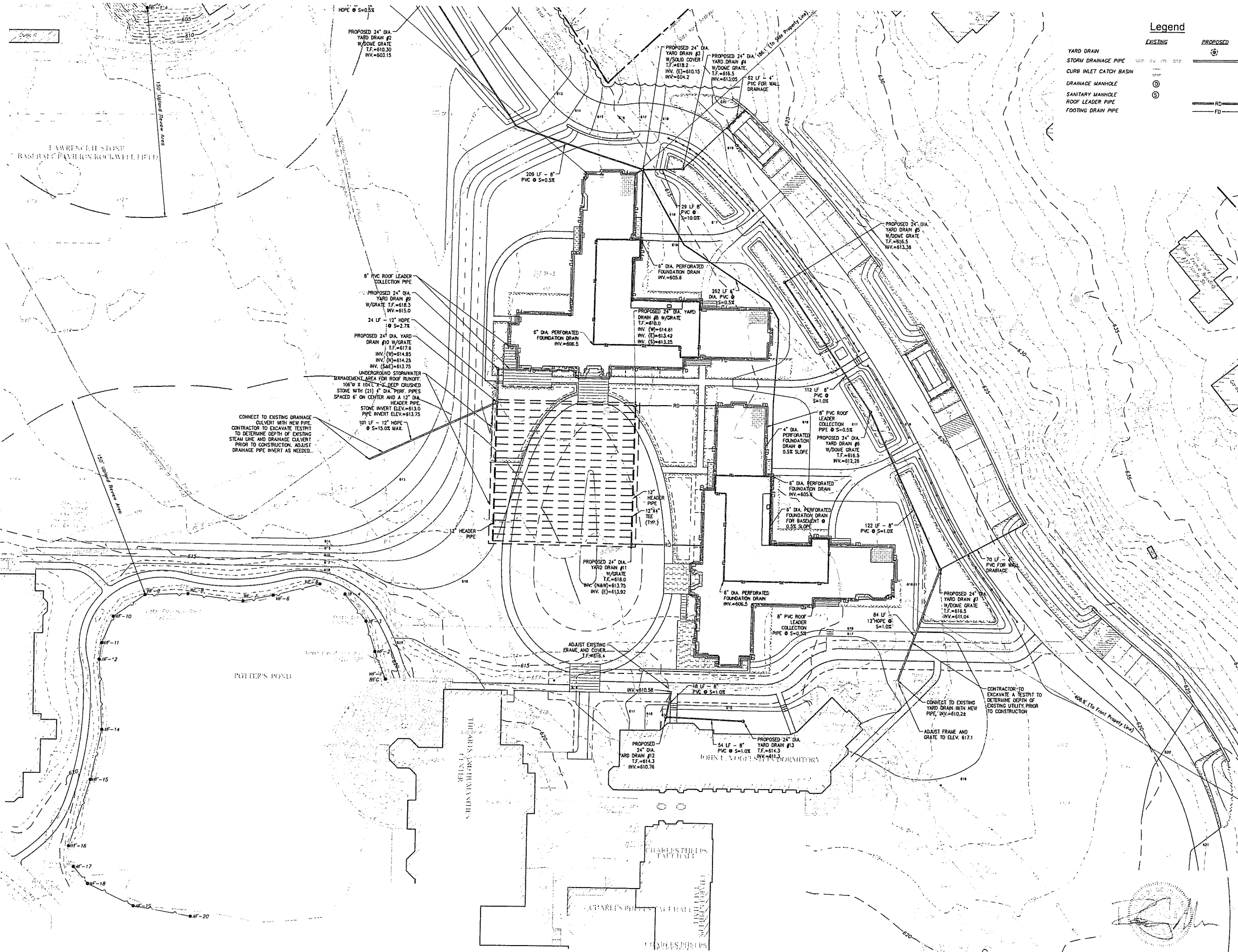
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 1816 S. 2nd Street
 Philadelphia, PA 19148
 phone (215) 518-4788



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 Title DORM 1 & 2
 DEMOLITION PLAN
 Scale 1"=30'
 Drawn By HT/RR

C1.3

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Legend

- | | |
|------------------------|------------------------|
| EXISTING | PROPOSED |
| YARD DRAIN | YARD DRAIN |
| STORM DRAINAGE PIPE | STORM DRAINAGE PIPE |
| CURB INLET CATCH BASIN | CURB INLET CATCH BASIN |
| DRAINAGE MANHOLE | DRAINAGE MANHOLE |
| SANITARY MANHOLE | SANITARY MANHOLE |
| ROOF LEADER PIPE | ROOF LEADER PIPE |
| FOOTING DRAIN PIPE | FOOTING DRAIN PIPE |

Student Dormitory
The Taft School

110 Woodbury Rd
Watertown, CT 06795

ARCHITECT
Voith & Mactavish Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-545-4544
fax 215-545-3299
voithandmactavish.com

STRUCTURAL ENGINEER
Keast & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone (215) 825-0099
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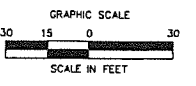
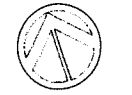
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Kohler Ronan Consulting Engineers
93 Lake Ave
Danbury, CT 06810
phone (203) 778-1017
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CIVIL ENGINEER
Land Resource Consultants Engineering & Surveying, LLC
160 West Street Suite E
Cromwell, CT 06416
phone (860) 635-2877
lrcconsult.com

LANDSCAPE DESIGN
TL Studio
110 King Philip Road Unit 2A
Rumford, RI 02918
phone (401) 383-3574
tlstudioinc.com

AVAT/SECURITY
NVS
1315 Walnut St #900
Philadelphia, PA 19107
phone (215) 751-1133
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O'Donoghue Lighting
1816 S. 2nd Street
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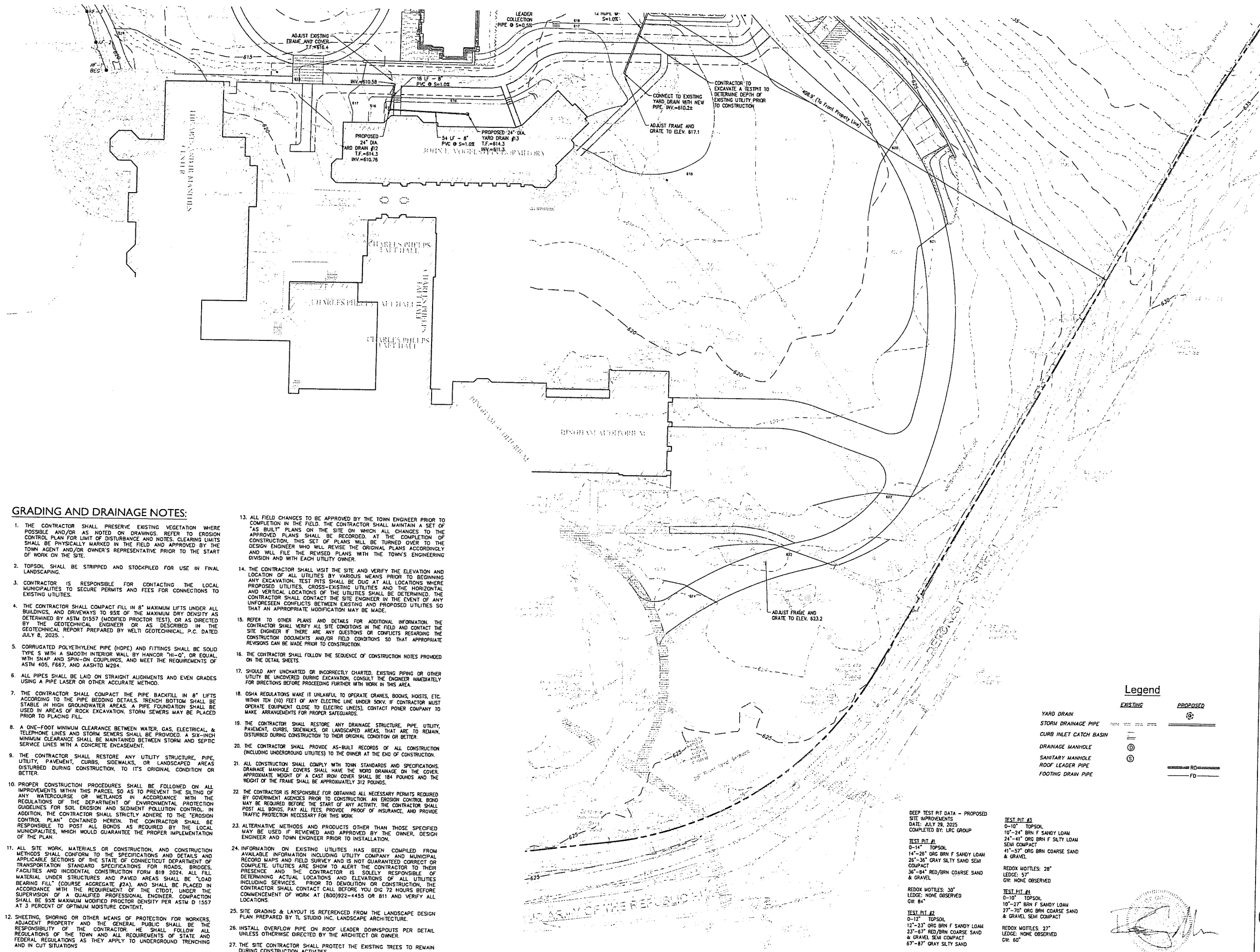
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Revision
Date January 21, 2026
Title DORM 1 & 2 - DRAINAGE PLAN
Scale 1"=30'
Drawn By HT/RR

C2.1

Contractor is to verify all dimensions in field and inform Architect of any discrepancies before starting work.

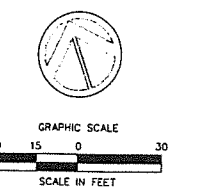
GRADING AND DRAINAGE NOTES:

- THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND NOTES. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN AGENT AND/OR OWNER'S REPRESENTATIVE PRIOR TO THE START OF WORK ON THE SITE.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL MUNICIPALITIES TO SECURE PERMITS AND FEES FOR CONNECTIONS TO EXISTING UTILITIES.
- THE CONTRACTOR SHALL COMPACT FILL IN 8" MAXIMUM LIFTS UNDER ALL BUILDINGS, AND DRIVEWAYS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER OR AS DESCRIBED IN THE GEOTECHNICAL REPORT PREPARED BY WELT GEOTECHNICAL, P.C. DATED JULY 8, 2025.
- CORRUGATED POLYETHYLENE PIPE (HDPE) AND FITTINGS SHALL BE SOLID TYPE S WITH A SMOOTH INTERIOR WALL BY HANCOR "H-O", OR EQUAL WITH SNAP AND SPIN-ON COUPLINGS, AND MEET THE REQUIREMENTS OF ASTM 405, F667, AND AASHTO M254.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION. STORM SEWERS MAY BE PLACED PRIOR TO PLACING FILL.
- A ONE-FOOT MINIMUM CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, & TELEPHONE LINES AND STORM SEWERS SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM AND SEPTIC SERVICE LINES WITH A CONCRETE ENCASUREMENT.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION TO ITS ORIGINAL CONDITION OR BETTER.
- PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SALTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES FOR SOIL EROSION AND SEDIMENT POLLUTION CONTROL. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE "EROSION CONTROL PLAN" CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
- ALL SITE WORK, MATERIALS OR CONSTRUCTION, AND CONSTRUCTION METHODS SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION FORM B19 2024. ALL FILL MATERIAL UNDER STRUCTURES AND PAVED AREAS SHALL BE "LOAD BEARING FILL" (COURSE AGGREGATE #2A) AND SHALL BE PLACED IN ACCORDANCE WITH THE REQUIREMENT OF THE CTDOT, UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. COMPACTION SHALL BE 95% MAXIMUM MODIFIED PROCTOR DENSITY PER ASTM D 1557 AT 3 PERCENT OF OPTIMUM MOISTURE CONTENT.
- SHEETING, SHORING OR OTHER MEANS OF PROTECTION FOR WORKERS, ADJACENT PROPERTY AND THE GENERAL PUBLIC SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. HE SHALL FOLLOW ALL REGULATIONS OF THE TOWN AND ALL REQUIREMENTS OF STATE AND FEDERAL REGULATIONS AS THEY APPLY TO UNDERGROUND TRENCHING AND IN CUT SITUATIONS.
- ALL FIELD CHANGES TO BE APPROVED BY THE TOWN ENGINEER PRIOR TO COMPLETION IN THE FIELD. THE CONTRACTOR SHALL MAINTAIN A SET OF "AS BUILT" PLANS ON THE SITE ON WHICH ALL CHANGES TO THE APPROVED PLANS SHALL BE RECORDED. AT THE COMPLETION OF CONSTRUCTION, THIS SET OF PLANS WILL BE TURNED OVER TO THE DESIGN ENGINEER WHO WILL REVISE THE ORIGINAL PLANS ACCORDINGLY AND WILL FILE THE REVISED PLANS WITH THE TOWN'S ENGINEERING DIVISION AND WITH EACH UTILITY OWNER.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE PROPOSED UTILITIES, CROSS-EXISTING UTILITIES AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE SITE ENGINEER IN THE EVENT OF ANY UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
- REFER TO OTHER PLANS AND DETAILS FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE DETAIL SHEETS.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BOOMS, HOISTS, ETC. WITHIN TEN (10) FEET OF ANY ELECTRIC LINE UNDER 50KV. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.
- THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS, THAT ARE TO REMAIN, DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL COMPLY WITH TOWN STANDARDS AND SPECIFICATIONS. DRAINAGE MANHOLE COVERS SHALL HAVE THE WORD DRAINAGE ON THE COVER. APPROXIMATE WEIGHT OF A CAST IRON COVER SHALL BE 184 POUNDS AND THE WEIGHT OF THE FRAME SHALL BE APPROXIMATELY 312 POUNDS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. AN EROSION CONTROL BOND MAY BE REQUIRED BEFORE THE START OF ANY ACTIVITY. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE "PROOF OF INSURANCE," AND PROVIDE TRAFFIC PROTECTION NECESSARY FOR THIS WORK.
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, DESIGN ENGINEER AND TOWN ENGINEER PRIOR TO INSTALLATION.
- INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE OF DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT CALL BEFORE YOU DIG 72 HOURS BEFORE COMMENCEMENT OF WORK AT (800)922-4455 OR 811 AND VERIFY ALL LOCATIONS.
- SITE GRADING & LAYOUT IS REFERENCED FROM THE LANDSCAPE DESIGN PLAN PREPARED BY TL STUDIO INC. LANDSCAPE ARCHITECTURE.
- INSTALL OVERFLOW PIPE ON ROOF LEADER DOWNSPOUTS PER DETAIL UNLESS OTHERWISE DIRECTED BY THE ARCHITECT OR OWNER.
- THE SITE CONTRACTOR SHALL PROTECT THE EXISTING TREES TO REMAIN DURING CONSTRUCTION ACTIVITIES.



Legend

EXISTING	PROPOSED
YARD DRAIN	②
STORM DRAINAGE PIPE	③
CURB INLET CATCH BASIN	④
DRAINAGE MANHOLE	⑤
SANITARY MANHOLE	⑥
ROOF LEADER PIPE	RD
FOOTING DRAIN PIPE	FD



DEEP TEST PIT DATA - PROPOSED
 SITE IMPROVEMENTS
 DATE: JULY 29, 2025
 COMPLETED BY: LRC GROUP

TEST PIT #1
 0-14" TOPSOIL
 14"-26" ORG BRN F SANDY LOAM
 26"-36" GRAY SILTY SAND SEMI COMPACT
 36"-84" RED/BRN COARSE SAND & GRAVEL
 REDOX MOTILES: 30"
 LEDGE: NONE OBSERVED
 GW: 84"

TEST PIT #2
 0-12" TOPSOIL
 12"-23" ORG BRN F SANDY LOAM
 23"-67" RED/BRN COARSE SAND & GRAVEL SEMI COMPACT
 67"-87" GRAY SILTY SAND
 REDOX MOTILES: 27"
 LEDGE: NONE OBSERVED
 GW: 87"

TEST PIT #3
 0-10" TOPSOIL
 10"-24" BRN F SANDY LOAM
 24"-41" ORG BRN F SILTY LOAM SEMI COMPACT
 41"-57" ORG BRN COARSE SAND & GRAVEL
 REDOX MOTILES: 26"
 LEDGE: 57"
 GW: NONE OBSERVED

TEST PIT #4
 0-10" TOPSOIL
 10"-27" BRN F SANDY LOAM
 27"-70" ORG BRN COARSE SAND & GRAVEL SEMI COMPACT
 REDOX MOTILES: 27"
 LEDGE: NONE OBSERVED
 GW: 60"



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ARCHITECT
 Voith & Macintosh Architects LLP
 2401 Walnut Street, 6th Floor
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 Philadelphia, PA 19103
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 Keast & Hood
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 Philadelphia, PA 19103
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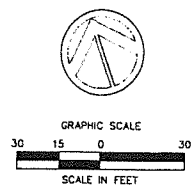
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 Kohler Ronan Consulting Engineers
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 Danbury, CT 06810
 phone (203) 778-1017
 kohleronan.com

CIVIL ENGINEER
 Land Resource Consultants Engineering & Surveying, LLC
 180 West Street Suite E
 Cromwell, CT 06416
 phone (860) 635-2877
 lrccsolutions.com

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 TL Studio
 110 King Philip Road Unit 2A
 Rumford, RI 02915
 phone (401) 383-3574
 tlstudioinc.com

AVTISECURITY
 NVS
 1315 Walnut St #200
 Philadelphia, PA 19107
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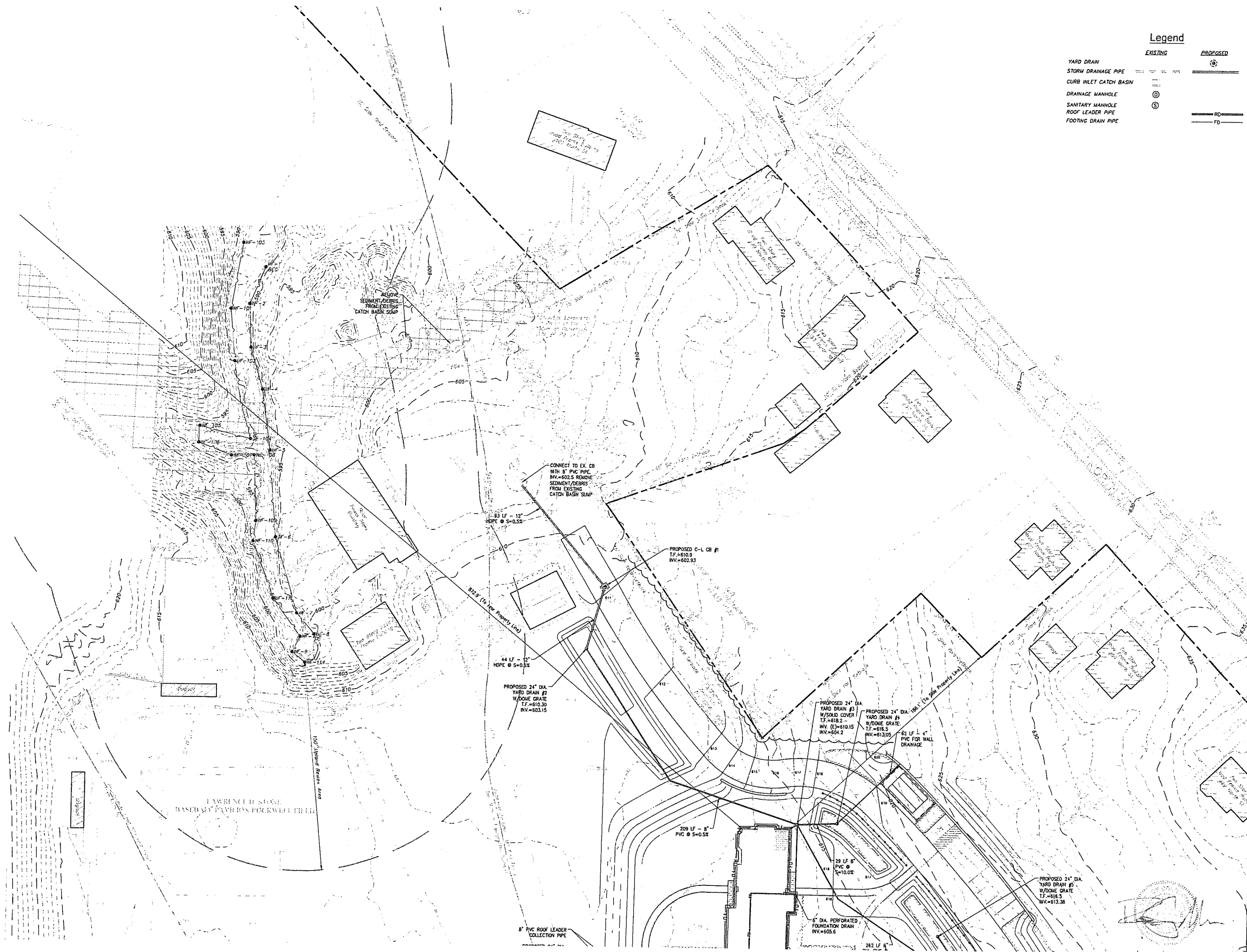
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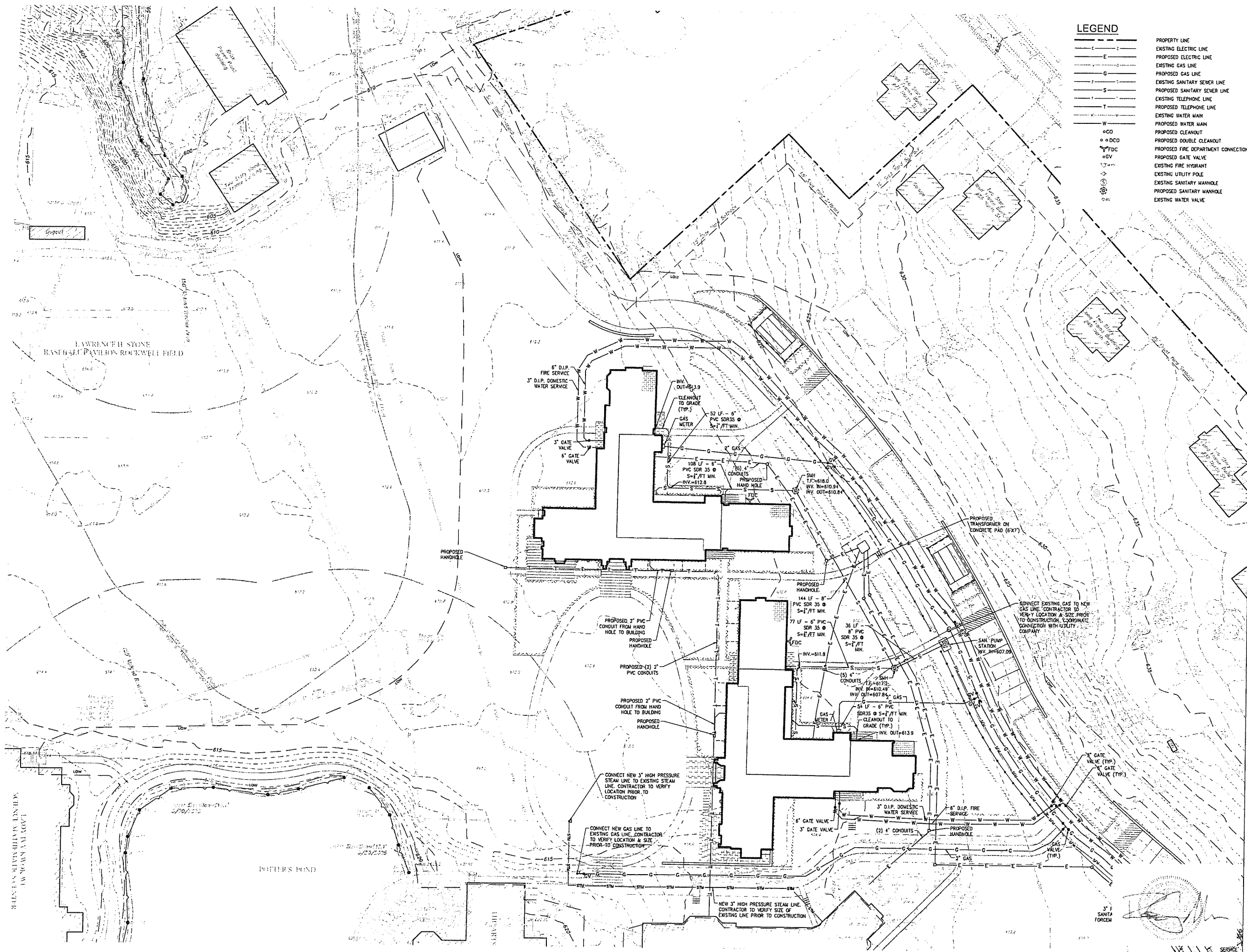
C2.3

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.

Legend

	EXISTING	PROPOSED
YARD DRAIN	---	---
STORM DRAINAGE PIPE	---	---
CURB INLET CATCH BASIN	---	---
DRAINAGE MANHOLE	⊙	⊙
SANITARY MANHOLE	⊙	⊙
ROOF LEADER PIPE	---	---
FOOTING DRAIN PIPE	---	---





LEGEND

---	PROPERTY LINE
---	EXISTING ELECTRIC LINE
---	PROPOSED ELECTRIC LINE
---	EXISTING GAS LINE
---	PROPOSED GAS LINE
---	EXISTING SANITARY SEWER LINE
---	PROPOSED SANITARY SEWER LINE
---	EXISTING TELEPHONE LINE
---	PROPOSED TELEPHONE LINE
---	EXISTING WATER MAIN
---	PROPOSED WATER MAIN
○	PROPOSED CLEANOUT
○	PROPOSED DOUBLE CLEANOUT
○	PROPOSED FIRE DEPARTMENT CONNECTION
○	PROPOSED GATE VALVE
○	EXISTING FIRE HYDRANT
○	EXISTING UTILITY POLE
○	EXISTING SANITARY MANHOLE
○	PROPOSED SANITARY MANHOLE
○	EXISTING WATER VALVE

Student Dormitory
The Taft School
 110 Woodbury Rd
 Watertown, CT 06795

ARCHITECT
 Voth & Macdovish Architects LLP
 2401 Walnut Street, 6th Floor
 Philadelphia, PA 19103
 phone 215-545-4544
 fax 215-545-3299
 vothandmacdovish.com

STRUCTURAL ENGINEER
 Keast & Hood
 1635 Market St #1705
 Philadelphia, PA 19103
 phone (215) 625-0099
 keasthood.com

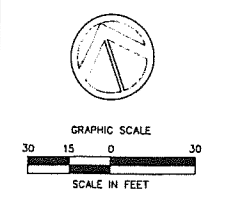
MEP ENGINEER
 Kohler Ronan Consulting Engineers
 93 Lake Ave
 Danbury, CT 06810
 phone (203) 778-1017
 kohleronan.com

CIVIL ENGINEER
 Land Resource Consultants Engineering & Surveying, LLC
 150 West Street Suite E
 Cromwell, CT 06416
 phone (860) 635-2877
 lrcconsult.com

LANDSCAPE DESIGN
 TL Studio
 110 King Philip Road Unit 2A
 Rumford, RI 02916
 phone (401) 383-3574
 tlstudioinc.com

AVIT/SECURITY
 NV5
 1315 Walnut St #900
 Philadelphia, PA 19107
 phone (215) 751-1133
 nv5.com

LIGHTING DESIGN
 O'Donohoe Lighting
 1816 S. 2nd Street
 Philadelphia, PA 19148
 phone (215) 518-4788

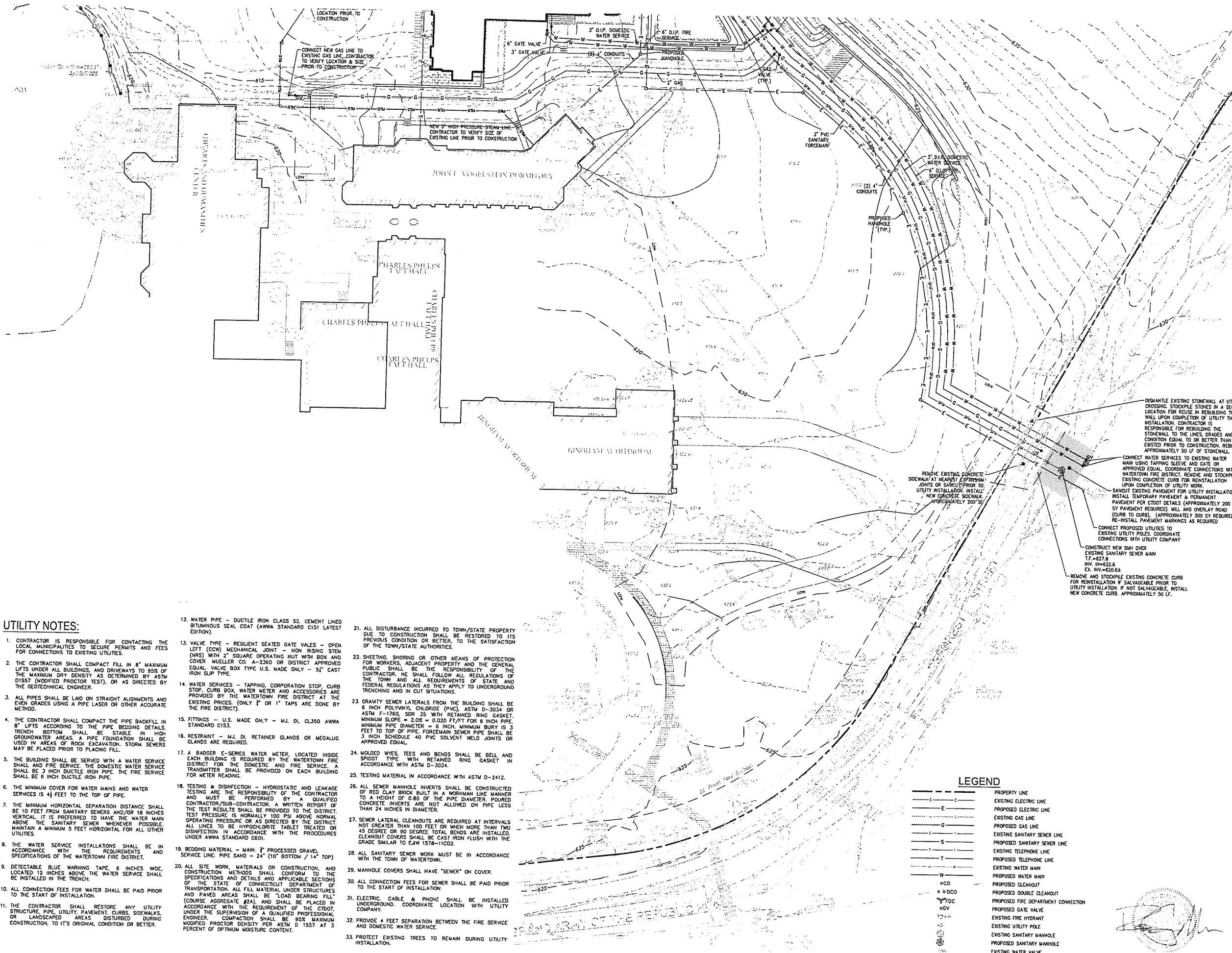


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C3.1

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Student Dormitory
The Taft School
 110 Woodbury Rd
 Watertown, CT 06795

ARCHITECT
 Voth & Macintosh Architects LLP
 2401 Walnut Street, 6th Floor
 Philadelphia, PA 19103
 phone 215-545-4544
 fax 215-545-3299
 vothandmacintosh.com

STRUCTURAL ENGINEER
 Keast & Hood
 1635 Market St #1705
 Philadelphia, PA 19103
 phone (215) 625-0099
 keasthood.com

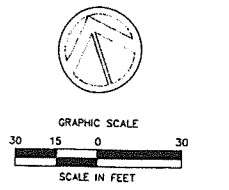
MEP ENGINEER
 Kohler Ronan Consulting Engineers
 53 Lake Ave
 Danbury, CT 06810
 phone (203) 778-1017
 kohleronan.com

CIVIL ENGINEER
 Land Resource Consultants Engineering & Surveying, LLC
 160 West Street Suite E
 Cromwell, CT 06416
 phone (860) 635-2877
 lrconsult.com

LANDSCAPE DESIGN
 TL Studio
 110 King Philip Road Unit 2A
 Rumford, RI 02916
 phone (401) 383-3574
 tlstudioinc.com

AVIATION SECURITY
 NVS
 1315 Walnut St #200
 Philadelphia, PA 19107
 phone (215) 751-1133
 nvs.com

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 O'Donohue Lighting
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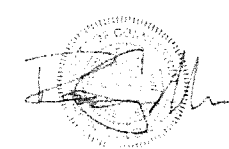
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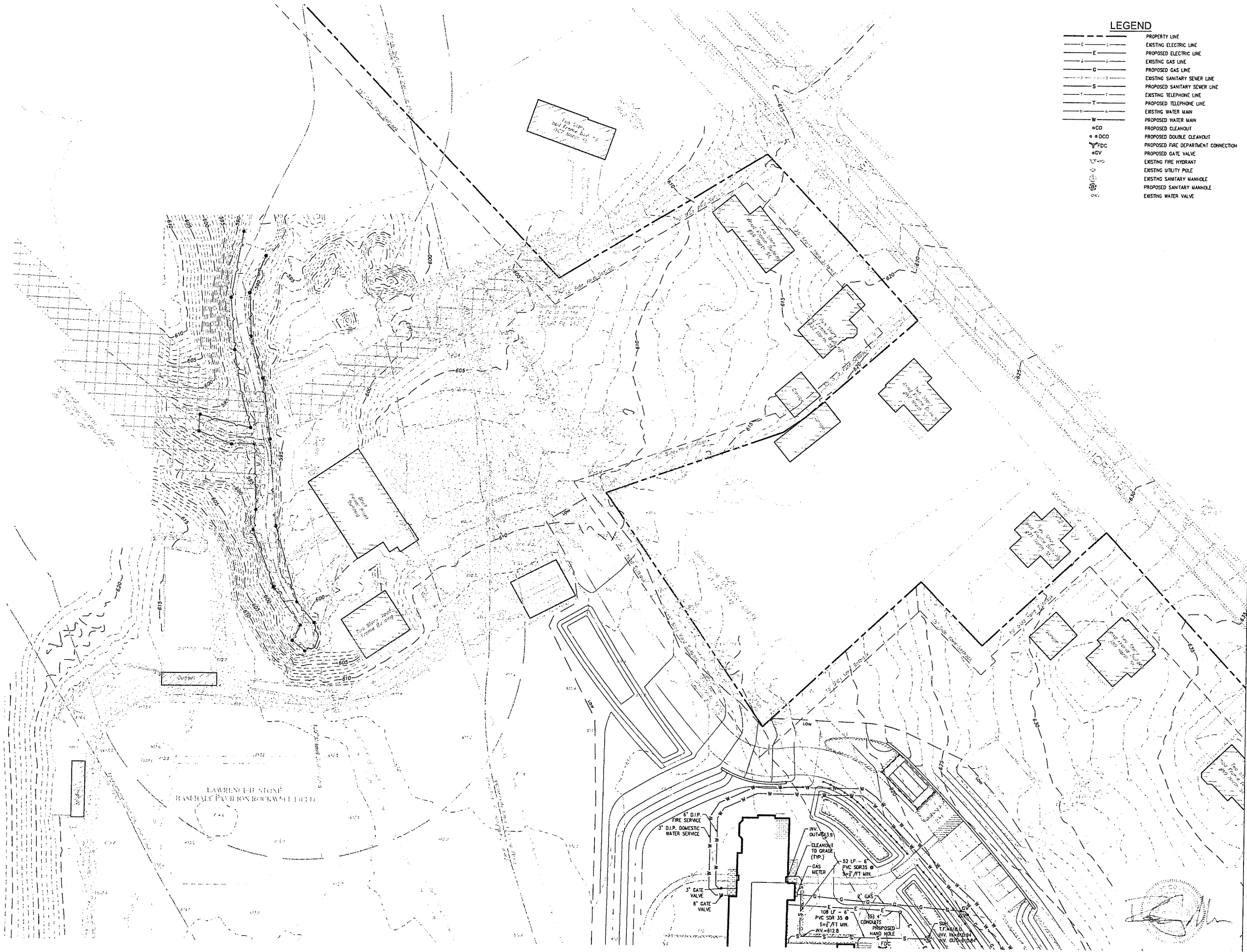
UTILITY NOTES:

- CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL MUNICIPALITIES TO SECURE PERMITS AND FEES FOR CONNECTIONS TO EXISTING UTILITIES.
- THE CONTRACTOR SHALL COMPACT FILL IN 8" MAXIMUM LIFTS UNDER ALL BUILDINGS, AND DRIVEWAYS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION. STORM SEWERS MAY BE PLACED PRIOR TO PLACING FILL.
- THE BUILDING SHALL BE SERVED WITH A WATER SERVICE SHALL AND FIRE SERVICE. THE DOMESTIC WATER SERVICE SHALL BE 3 INCH DUCTILE IRON PIPE. THE FIRE SERVICE SHALL BE 6 INCH DUCTILE IRON PIPE.
- THE MINIMUM COVER FOR WATER MAINS AND WATER SERVICES IS 4 1/2 FEET TO THE TOP OF PIPE.
- THE MINIMUM HORIZONTAL SEPARATION DISTANCE SHALL BE 10 FEET FROM SANITARY SEWERS AND/OR 18 INCHES VERTICAL. IT IS PREFERRED TO HAVE THE WATER MAIN ABOVE THE SANITARY SEWER WHENEVER POSSIBLE. MAINTAIN A MINIMUM 5 FEET HORIZONTAL FOR ALL OTHER UTILITIES.
- THE WATER SERVICE INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE WATERTOWN FIRE DISTRICT.
- DETECTABLE BLUE WARNING TAPE, 6 INCHES WIDE, LOCATED 12 INCHES ABOVE THE WATER SERVICE SHALL BE INSTALLED IN THE TRENCH.
- ALL CONNECTION FEES FOR WATER SHALL BE PAID PRIOR TO THE START OF INSTALLATION.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION, TO ITS ORIGINAL CONDITION OR BETTER.
- WATER PIPE - DUCTILE IRON CLASS 52, CEMENT LINED BITUMINOUS SEAL COAT (AWWA STANDARD C151 LATEST EDITION).
- VALVE TYPE - RESILIENT SEATED GATE VALVES - OPEN LEFT (CCW) MECHANICAL JOINT - NON RISING STEM (NRS) WITH 2" SQUARE OPERATING NUT WITH BOX AND COVER MUELLER CO. A-2360 OR DISTRICT APPROVED EQUAL VALVE BOX TYPE U.S. MADE ONLY - 5/4" CAST IRON SLIP TYPE.
- WATER SERVICES - TAPPING CORPORATION STOP, CURB STOP, CURB BOX, WATER METER AND ACCESSORIES ARE PROVIDED BY THE WATERTOWN FIRE DISTRICT AT THE EXISTING PRICES. (ONLY 3" OR 1" TAPS ARE DONE BY THE FIRE DISTRICT).
- FITTINGS - U.S. MADE ONLY - MJ, DI, CL350 AWWA STANDARD C153.
- RESTRAINT - MJ, DI, RETAINER GLANDS OR MEGALIG GLANDS ARE REQUIRED.
- A BADGER E-SERIES WATER METER, LOCATED INSIDE EACH BUILDING IS REQUIRED BY THE WATERTOWN FIRE DISTRICT FOR THE DOMESTIC AND FIRE SERVICE. A TRANSMITTER SHALL BE PROVIDED ON EACH BUILDING FOR METER READING.
- TESTING & DISINFECTION - HYDROSTATIC AND LEAKAGE TESTING ARE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE PERFORMED BY A QUALIFIED CONTRACTOR/SUB-CONTRACTOR. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE PROVIDED TO THE DISTRICT. TEST PRESSURE IS NORMALLY 100 PSI ABOVE NORMAL OPERATING PRESSURE OR AS DIRECTED BY THE DISTRICT. ALL LINES TO BE HYPOCHLORITE TABLET TREATED OR DISINFECTION IN ACCORDANCE WITH THE PROCEDURES UNDER AWWA STANDARD C601.
- BEDDING MATERIAL - MAIN: 3" PROCESSED GRAVEL SERVICE LINE: PIPE SAND - 24" (10" BOTTOM / 14" TOP)
- ALL SITE WORK MATERIALS OR CONSTRUCTION, AND CONSTRUCTION METHODS SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION. ALL FILL MATERIAL UNDER STRUCTURES AND PAVED AREAS SHALL BE "LOAD BEARING FILL" (COURSE AGGREGATE #2A), AND SHALL BE PLACED IN ACCORDANCE WITH THE REQUIREMENT OF THE CDOT, UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. COMPACTION SHALL BE 95% MAXIMUM MODIFIED PROCTOR DENSITY PER ASTM D 1557 AT 3 PERCENT OF OPTIMUM MOISTURE CONTENT.
- ALL DISTURBANCE INCURRED TO TOWN/STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER TO THE SATISFACTION OF THE TOWN/STATE AUTHORITIES.
- SHEETING, SHORING OR OTHER MEANS OF PROTECTION FOR WORKERS, ADJACENT PROPERTY AND THE GENERAL PUBLIC SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. HE SHALL FOLLOW ALL REGULATIONS OF THE TOWN AND ALL REQUIREMENTS OF STATE AND FEDERAL REGULATIONS AS THEY APPLY TO UNDERGROUND TRENCHING AND IN CUT SITUATIONS.
- GRANITE SEWER LATERALS FROM THE BUILDING SHALL BE 6 INCH POLYVINYL CHLORIDE (PVC), ASTM D-3034 OR ASTM F-1760, SDR 35 WITH RETAINED RING GASKET. MINIMUM SLOPE = 2.0% = 0.020 FT/FT FOR 6 INCH PIPE. MINIMUM PIPE DIAMETER = 6 INCH. MINIMUM BURY IS 3 FEET TO TOP OF PIPE. FORCEMAIN SEWER PIPE SHALL BE 3 INCH SCHEDULE 40 PVC SOLVENT WELD JOINTS OR APPROVED EQUAL.
- MOLDED WYES, TEES AND BENDS SHALL BE BELL AND SPIGOT TYPE WITH RETAINED RING GASKET IN ACCORDANCE WITH ASTM D-3034.
- TESTING MATERIAL IN ACCORDANCE WITH ASTM D-2412.
- ALL SEWER MANHOLE INVERTS SHALL BE CONSTRUCTED OF RED CLAY BRICK BUILT IN A WORKMAN LIKE MANNER TO A HEIGHT OF 0.80 OF THE PIPE DIAMETER. POURED CONCRETE INVERTS ARE NOT ALLOWED ON PIPE LESS THAN 24 INCHES IN DIAMETER.
- SEWER LATERAL CLEANOUTS ARE REQUIRED AT INTERVALS NOT GREATER THAN 100 FEET OR WHEN MORE THAN TWO 45 DEGREE OR 90 DEGREE TEE BENDS ARE INSTALLED. CLEANOUT COVERS SHALL BE CAST IRON FLUSH WITH THE GRADE SIMILAR TO EAW 1578-11C02.
- ALL SANITARY SEWER WORK MUST BE IN ACCORDANCE WITH THE TOWN OF WATERTOWN.
- MANHOLE COVERS SHALL HAVE "SEWER" ON COVER.
- ALL CONNECTION FEES FOR SEWER SHALL BE PAID PRIOR TO THE START OF INSTALLATION.
- ELECTRIC, CABLE & PHONE SHALL BE INSTALLED UNDERGROUND. COORDINATE LOCATION WITH UTILITY COMPANY.
- PROVIDE 4 FEET SEPARATION BETWEEN THE FIRE SERVICE AND DOMESTIC WATER SERVICE.
- PROTECT EXISTING TREES TO REMAIN DURING UTILITY INSTALLATION.

LEGEND

- PROPERTY LINE
- - - - - EXISTING ELECTRIC LINE
- - - - - PROPOSED ELECTRIC LINE
- - - - - EXISTING GAS LINE
- - - - - PROPOSED GAS LINE
- - - - - EXISTING SANITARY SEWER LINE
- - - - - PROPOSED SANITARY SEWER LINE
- - - - - EXISTING TELEPHONE LINE
- - - - - PROPOSED TELEPHONE LINE
- - - - - EXISTING WATER MAIN
- - - - - PROPOSED WATER MAIN
- - - - - PROPOSED CLEANOUT
- - - - - PROPOSED DOUBLE CLEANOUT
- - - - - PROPOSED FIRE DEPARTMENT CONNECTION
- - - - - PROPOSED GATE VALVE
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- - - - - EXISTING UTILITY POLE
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- - - - - PROPOSED SANITARY MANHOLE
- - - - - EXISTING WATER VALVE





LEGEND

---	PROPERTY LINE
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Student Dormitory
The Taft School
 110 Woodbury Rd
 Watertown, CT 06795

ARCHITECT
 Voith & MacIvesh Architects LLP
 2401 Walnut Street, 6th Floor
 Philadelphia, PA 19103
 phone 215-545-4544
 fax 215-545-3299
 voithandmacIvesh.com

STRUCTURAL ENGINEER
 Keast & Hood
 1635 Market St #1705
 Philadelphia, PA 19103
 phone (215) 625-0099
 keasthood.com

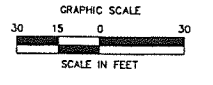
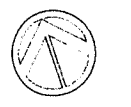
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 Kohler-Ronan Consulting Engineers
 93 Lake Ave
 Danbury, CT 06810
 phone (203) 778-1017
 kohler-ronan.com

CIVIL ENGINEER
 Land Resource Consultants Engineering & Surveying, LLC
 160 West Street Suite E
 Cromwell, CT 06416
 phone (860) 635-2877
 lrcuzensul.com

LANDSCAPE DESIGN
 TL Studio
 110 King Philip Road Unit 2A
 Rumford, RI 02916
 phone (401) 383-3574
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AVITISECURITY
 NV5
 1315 Walnut St #800
 Philadelphia, PA 19107
 phone (215) 751-1133
 nv5.com

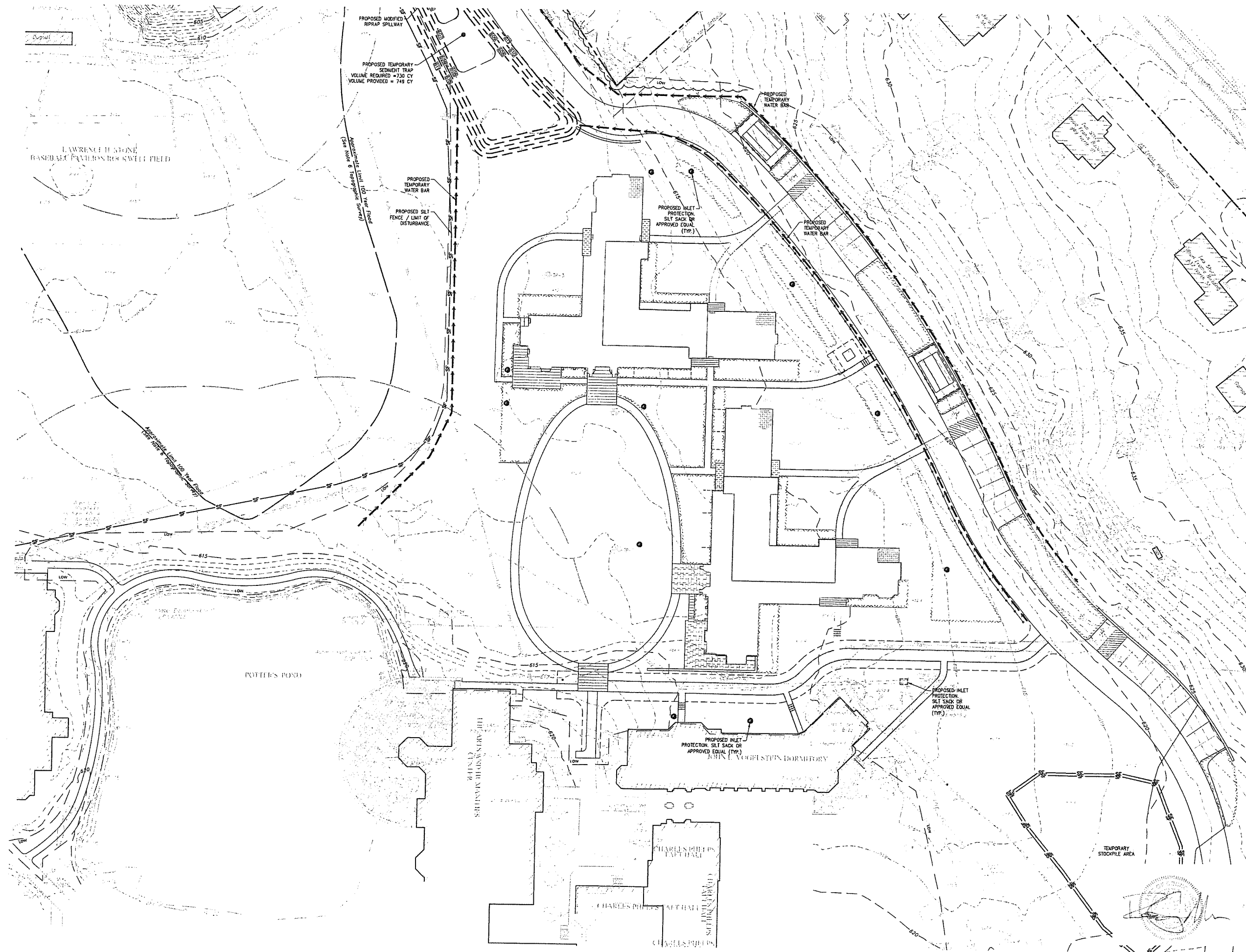
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C3.3

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The Taft School
 110 Woodbury Rd
 Watertown, CT 06795

ARCHITECT
 Voith & MacIavish Architects LLP
 2401 Walnut Street, 8th Floor
 Philadelphia, PA 19103
 phone 215-545-4544
 fax 215-545-3299
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 Keast & Hood
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 Philadelphia, PA 19103
 phone (215) 625-0099
 keasthood.com

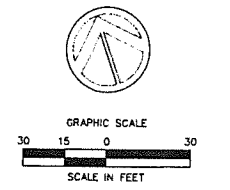
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 Kohler-Ronan Consulting Engineers
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 Danbury, CT 06810
 phone (203) 778-1017
 kohler-ronan.com

CIVIL ENGINEER
 Land Resource Consultants Engineering & Surveying, LLC
 160 West Street Suite E
 Cromwell, CT 06416
 phone (860) 635-2877
 lrccsult.com

LANDSCAPE DESIGN
 TL Studio
 110 King Philip Road Unit 2A
 Rumford, RI 02916
 phone (401) 383-3574
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AVIT/SECURITY
 NVS
 1315 Walnut St #900
 Philadelphia, PA 19107
 phone (215) 751-1133
 nvs.com

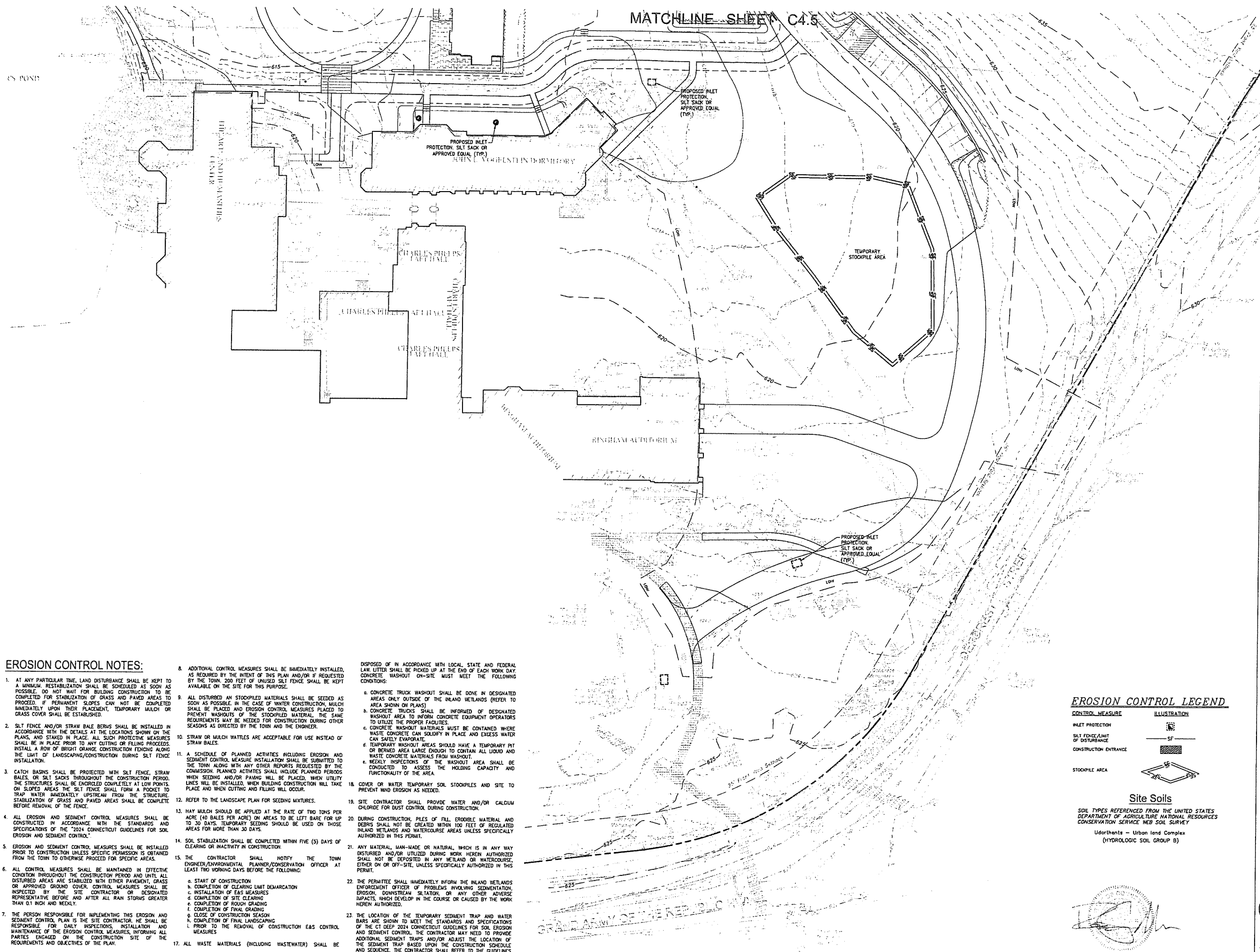
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 phone (215) 518-4768



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Student Dormitory
The Taft School
110 Woodbury Rd
Watertown, CT 06795

ARCHITECT
Voith & MacLachlan Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-545-4544
fax 215-545-3299
voithandmacLachlan.com

STRUCTURAL ENGINEER
Keast & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone (215) 625-0099
keasthood.com

MEP ENGINEER
Kohler Ronan Consulting Engineers
93 Lake Ave
Danbury, CT 06810
phone (203) 778-1017
kohleronan.com

CIVIL ENGINEER
Land Resource Consultants Engineering & Surveying, LLC
160 West Street Suite E
Cromwell, CT 06416
phone (860) 635-2877
lrconsult.com

LANDSCAPE DESIGN
TL Studio
110 King Philip Road Unit 2A
Rumford, RI 02918
phone (401) 383-3574
tlstudioinc.com

AVIT/SECURITY
NVS
1315 Walnut St #900
Philadelphia, PA 19107
phone (215) 751-1133
nvs.com

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Philadelphia, PA 19148
phone (215) 518-4786

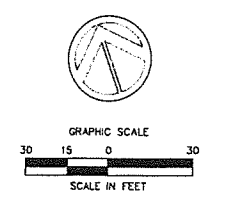
EROSION CONTROL NOTES:

- AT ANY PARTICULAR TIME, LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM. RESTABILIZATION SHALL BE SCHEDULED AS SOON AS POSSIBLE. DO NOT WAIT FOR BUILDING CONSTRUCTION TO BE COMPLETED FOR STABILIZATION OF GRASS AND PAVED AREAS TO PROCEED. IF PERMANENT SLOPES CAN NOT BE COMPLETED IMMEDIATELY UPON THEIR PLACEMENT, TEMPORARY MULCH OR GRASS COVER SHALL BE ESTABLISHED.
- SILT FENCE AND/OR STRAW BALE BERRIS SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS AT THE LOCATIONS SHOWN ON THE PLANS, AND STAKED IN PLACE. ALL SUCH PROTECTIVE MEASURES SHALL BE IN PLACE PRIOR TO ANY CUTTING OR FILLING PROCEEDS. INSTALL A ROW OF BRIGHT ORANGE CONSTRUCTION FENCING ALONG THE LIMIT OF LANDSCAPING/CONSTRUCTION DURING SILT FENCE INSTALLATION.
- CATCH BASINS SHALL BE PROTECTED WITH SILT FENCE, STRAW BALES, OR SILT SACKS THROUGHOUT THE CONSTRUCTION PERIOD. THE STRUCTURES SHALL BE ENCLOSED COMPLETELY AT LOW POINTS. ON SLOPED AREAS THE SILT FENCE SHALL FORM A POCKET TO TRAP WATER IMMEDIATELY UPSTREAM FROM THE STRUCTURE. STABILIZATION OF GRASS AND PAVED AREAS SHALL BE COMPLETE BEFORE REMOVAL OF THE FENCE.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE 2024 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION UNLESS SPECIFIC PERMISSION IS OBTAINED FROM THE TOWN TO OTHERWISE PROCEED FOR SPECIFIC AREAS.
- ALL CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH EITHER PAVEMENT, GRASS OR APPROVED GROUND COVER. CONTROL MEASURES SHALL BE INSPECTED BY THE SITE CONTRACTOR OR DESIGNATED REPRESENTATIVE BEFORE AND AFTER ALL RAIN STORMS GREATER THAN 0.1 INCH AND WEEKLY.
- THE PERSON RESPONSIBLE FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN IS THE SITE CONTRACTOR. HE SHALL BE RESPONSIBLE FOR DAILY INSPECTIONS, INSTALLATION AND MAINTENANCE OF THE EROSION CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN.
- ADDITIONAL CONTROL MEASURES SHALL BE IMMEDIATELY INSTALLED, AS REQUIRED BY THE INTENT OF THIS PLAN AND/OR IF REQUESTED BY THE TOWN. 200 FEET OF UNUSED SILT FENCE SHALL BE KEPT AVAILABLE ON THE SITE FOR THIS PURPOSE.
- ALL DISTURBED OR STOCKPILED MATERIALS SHALL BE SEEDED AS SOON AS POSSIBLE IN THE CASE OF WINTER CONSTRUCTION. MULCH SHALL BE PLACED AND EROSION CONTROL MEASURES PLACED TO PREVENT WASHOUTS OF THE STOCKPILED MATERIAL. THE SAME REQUIREMENTS MAY BE NEEDED FOR CONSTRUCTION DURING OTHER SEASONS AS DIRECTED BY THE TOWN AND THE ENGINEER.
- STRAW OR MULCH WATTLES ARE ACCEPTABLE FOR USE INSTEAD OF STRAW BALES.
- A SCHEDULE OF PLANNED ACTIVITIES INCLUDING EROSION AND SEDIMENT CONTROL MEASURE INSTALLATION SHALL BE SUBMITTED TO THE TOWN ALONG WITH ANY OTHER REPORTS REQUESTED BY THE COMMISSION. PLANNED ACTIVITIES SHALL INCLUDE PLANNED PERIODS WHEN SEEDING AND/OR PAVING WILL BE PLACED. WHEN UTILITY LINES WILL BE INSTALLED, WHEN BUILDING CONSTRUCTION WILL TAKE PLACE AND WHEN CUTTING AND FILLING WILL OCCUR.
- REFER TO THE LANDSCAPE PLAN FOR SEEDING MIXTURES.
- HAY MULCH SHOULD BE APPLIED AT THE RATE OF TWO TONS PER ACRE (40 BALES PER ACRE) ON AREAS TO BE LEFT BARE FOR UP TO 30 DAYS. TEMPORARY SEEDING SHOULD BE USED ON THOSE AREAS FOR MORE THAN 30 DAYS.
- SOIL STABILIZATION SHALL BE COMPLETED WITHIN FIVE (5) DAYS OF CLEARING OR INACTIVITY IN CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE TOWN ENGINEER/ENVIRONMENTAL PLANNER/CONSERVATION OFFICER AT LEAST TWO WORKING DAYS BEFORE THE FOLLOWING:
 - START OF CONSTRUCTION
 - COMPLETION OF CLEARING LIMIT DEMARCATION
 - INSTALLATION OF EAS MEASURES
 - COMPLETION OF SITE CLEARING
 - COMPLETION OF ROUGH GRADING
 - COMPLETION OF FINAL GRADING
 - CLOSE OF CONSTRUCTION SEASON
 - COMPLETION OF FINAL LANDSCAPING
 - PRIOR TO THE REMOVAL OF CONSTRUCTION EAS CONTROL MEASURES
- ALL WASTE MATERIALS (INCLUDING WASTEWATER) SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL LAW. LITTER SHALL BE PICKED UP AT THE END OF EACH WORK DAY. CONCRETE WASHOUT ON-SITE MUST MEET THE FOLLOWING CONDITIONS:
 - CONCRETE TRUCK WASHOUT SHALL BE DONE IN DESIGNATED AREAS ONLY OUTSIDE OF THE INLAND WETLANDS (REFER TO AREA SHOWN ON PLANS)
 - CONCRETE TRUCKS SHALL BE INFORMED OF DESIGNATED WASHOUT AREA TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
 - CONCRETE WASHOUT MATERIALS MUST BE CONTAINED WHERE WASTE CONCRETE CAN SOLIDIFY IN PLACE AND EXCESS WATER CAN SAFELY EVAPORATE.
 - TEMPORARY WASHOUT AREAS SHOULD HAVE A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH TO CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS FROM WASHOUT.
 - WEEKLY INSPECTIONS OF THE WASHOUT AREA SHALL BE CONDUCTED TO ASSESS THE HOLDING CAPACITY AND FUNCTIONALITY OF THE AREA.
- COVER OR WATER TEMPORARY SOIL STOCKPILES AND SITE TO PREVENT WIND EROSION AS NEEDED.
- SITE CONTRACTOR SHALL PROVIDE WATER AND/OR CALCIUM CHLORIDE FOR DUST CONTROL DURING CONSTRUCTION.
- DURING CONSTRUCTION, PILES OF FILL, ERODIBLE MATERIAL AND DEBRIS SHALL NOT BE CREATED WITHIN 100 FEET OF REGULATED INLAND WETLANDS AND WATERCOURSE AREAS UNLESS SPECIFICALLY AUTHORIZED IN THIS PERMIT.
- ANY MATERIAL, MAN-MADE OR NATURAL, WHICH IS IN ANY WAY DISTURBED AND/OR UTILIZED DURING WORK HEREIN AUTHORIZED SHALL NOT BE DEPOSITED IN ANY WETLAND OR WATERCOURSE, EITHER ON OR OFF-SITE, UNLESS SPECIFICALLY AUTHORIZED IN THIS PERMIT.
- THE PERMITTEE SHALL IMMEDIATELY INFORM THE INLAND WETLANDS ENFORCEMENT OFFICER OF PROBLEMS INVOLVING SEDIMENTATION, EROSION, DOWNSTREAM SILTATION, OR ANY OTHER ADVERSE IMPACTS WHICH DEVELOP IN THE COURSE OF OR CAUSED BY THE WORK HEREIN AUTHORIZED.
- THE LOCATION OF THE TEMPORARY SEDIMENT TRAP AND WATER BARS ARE SHOWN TO MEET THE STANDARDS AND SPECIFICATIONS OF THE CT DEEP 2024 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL. THE CONTRACTOR MAY NEED TO PROVIDE ADDITIONAL SEDIMENT TRAPS AND/OR ADJUST THE LOCATION OF THE SEDIMENT TRAP BASED UPON THE CONSTRUCTION SCHEDULE AND SEQUENCE. THE CONTRACTOR SHALL REFER TO THE GUIDELINES FOR GUIDANCE.

EROSION CONTROL LEGEND

CONTROL MEASURE	ILLUSTRATION
INLET PROTECTION	
SILT FENCE/LIMIT OF DISTURBANCE	
CONSTRUCTION ENTRANCE	
STOCKPILE AREA	

Site Soils
SOIL TYPES REFERENCED FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE NATIONAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY
Underlents - Urban Iand Complex (HYDROLOGIC SOIL GROUP B)



C4.2

Contractor to verify all dimensions on field and inform Architect of any discrepancies before starting work.

Student Dormitory

The Taft School

110 Woodbury Rd
Watertown, CT 06795

ARCHITECT
Voith & Macdaveh Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-545-4544
fax 215-545-3299
voithandmacdaveh.com

STRUCTURAL ENGINEER
Keast & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone (215) 625-0099
keasthood.com

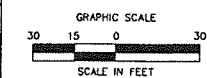
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93 Lake Ave
Danbury, CT 06810
phone (203) 778-1017
kuhleroran.com

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Land Resource Consultants Engineering &
Surveying, LLC
160 West Street Suite E
Cromwell, CT 06416
phone (860) 635-2877
lrconsult@a.com

LANDSCAPE DESIGN
TL Studio
110 King Philip Road Unit 2A
Rumford, RI 02916
phone (401) 383-3574
tlstudioinc.com

AVIATION SECURITY
NV5
1315 Walnut St #900
Philadelphia, PA 19107
phone (215) 751-1133
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phone (215) 516-4766

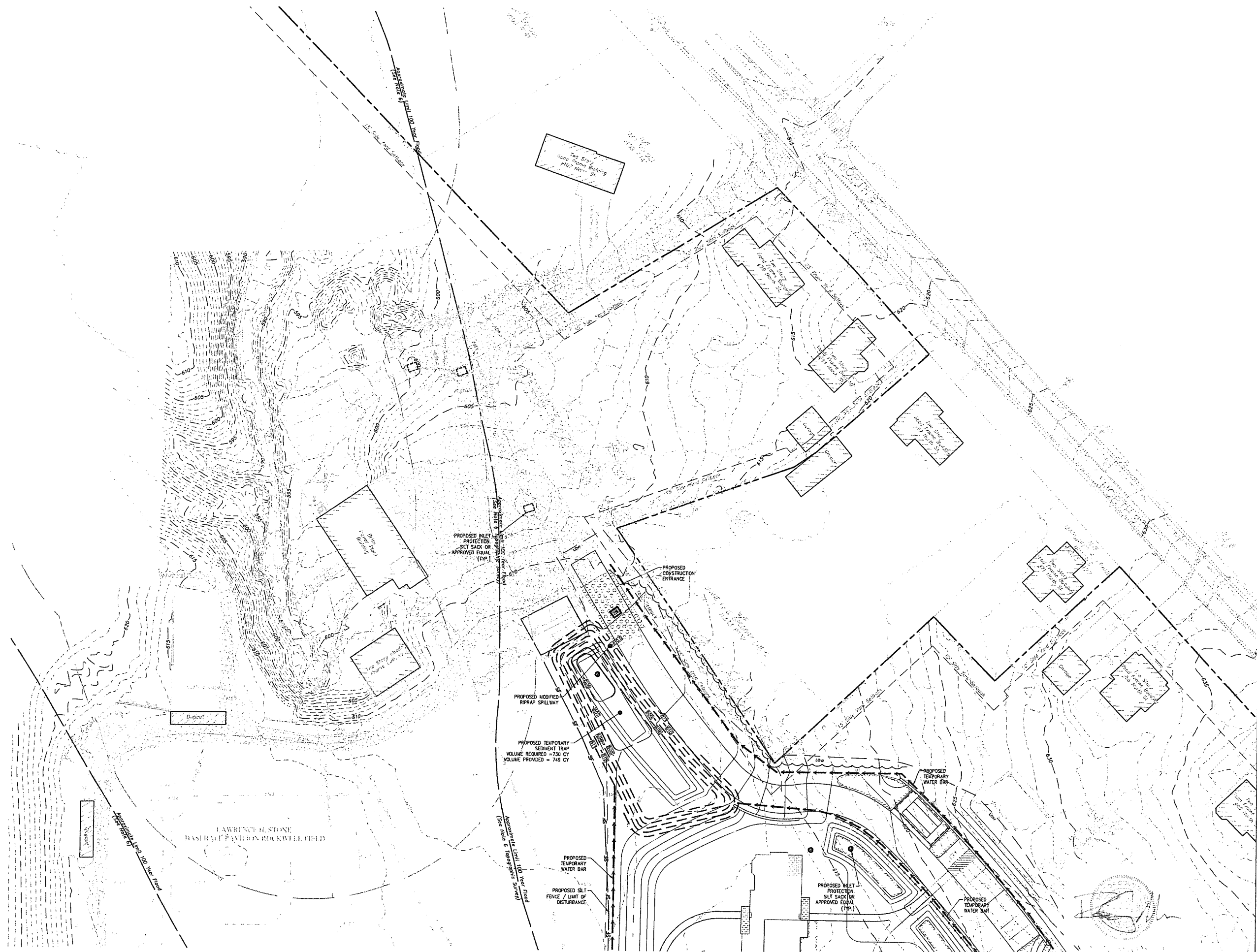


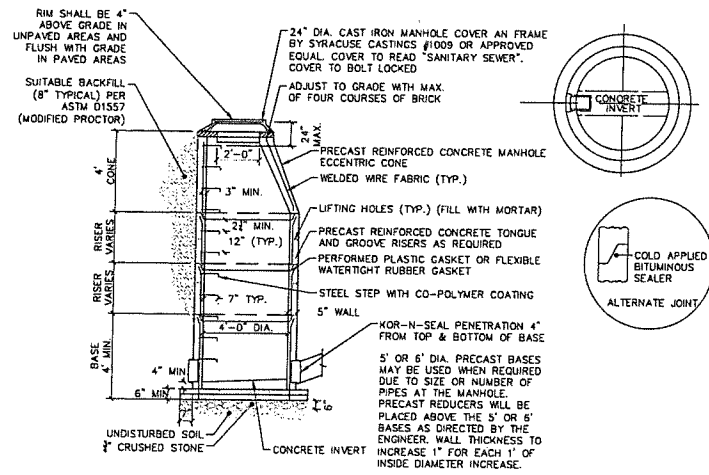
ZONING SUBMISSION
NOT FOR CONSTRUCTION

Revision
Date January 21, 2026
Title DORM 1 & 2 - SEDIMENTATION
& EROSION CONTROL PLAN
Scale 1"=30'
Drawn By HT/RR

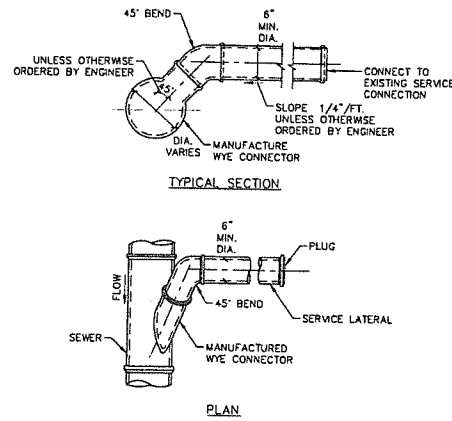
C4.3

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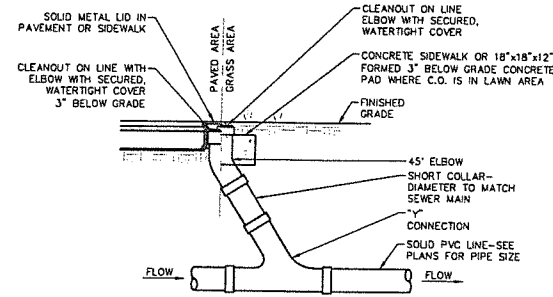


SANITARY SEWER MANHOLE DETAIL
SCALE: NOT TO SCALE

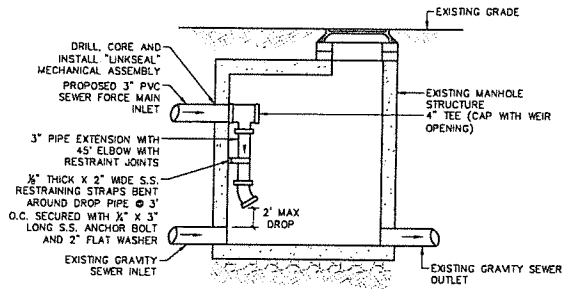


SANITARY SERVICE LATERAL CONNECTION DETAIL
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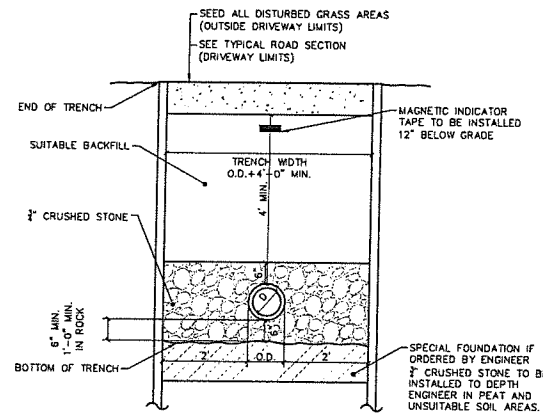
- NOTES:**
- CLEANOUTS SHALL BE INSTALLED AT 50' INTERVALS OR ANY CHANGE IN DIRECTION
 - ANY LOCATIONS WITHIN PAVED AREAS SHALL HAVE COVERS THAT ARE H-20 LOAD RATED. ALL COVERS WHETHER IN PAVEMENT OR GRASS SHALL BE LABELED "SEWER".
 - ALL RISERS ARE TO MATCH THE SIZE OF THE SANITARY LINE.



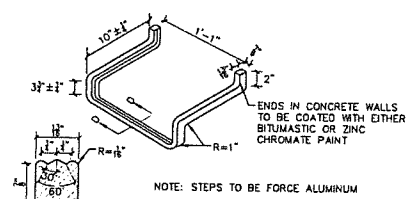
SINGLE SEWER CLEANOUT DETAIL
SCALE: NOT TO SCALE



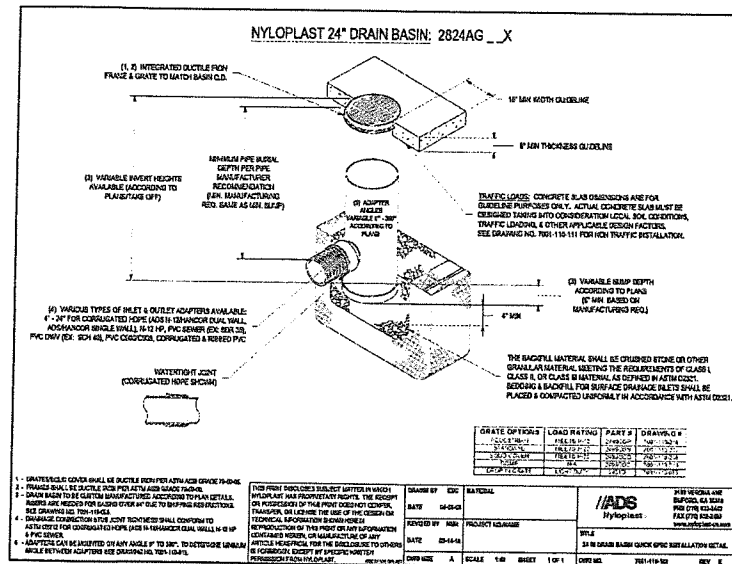
PROPOSED FORCE MAIN TO EXISTING GRAVITY SEWER MANHOLE CONNECTION DETAIL
NOT TO SCALE



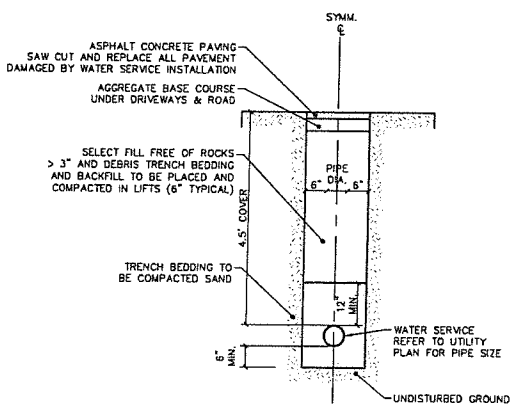
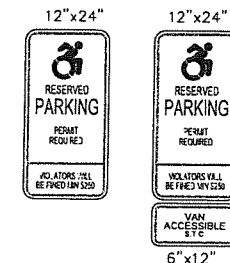
SANITARY SEWER TRENCH DETAIL
SCALE: NOT TO SCALE



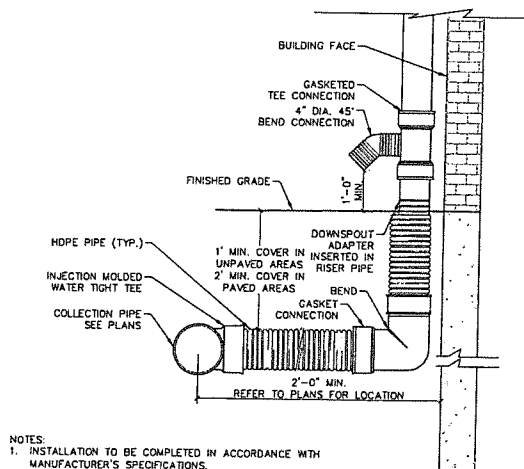
STANDARD MANHOLE STEP DETAIL
SCALE: NOT TO SCALE



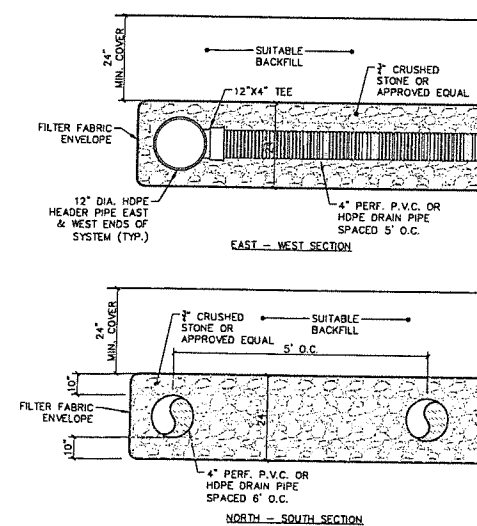
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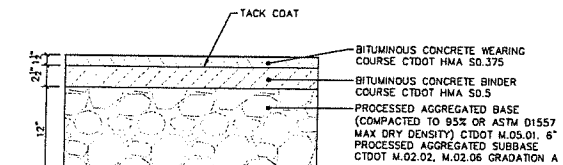
WATER SERVICE TRENCH DETAIL
SCALE: NOT TO SCALE



ROOF LEADER COLLECTION PIPE OVERFLOW DETAIL
NOT TO SCALE



UNDERGROUND STORMWATER MANAGEMENT AREA DRAINAGE DETAIL
NOT TO SCALE



BITUMINOUS CONCRETE ACCESS DRIVE DETAIL
NOT TO SCALE

Student Dormitory
The Taft School
110 Woodbury Rd
Watertown, CT 06795

ARCHITECT
Voith & MacLachlan Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-545-4544
fax 215-545-3299
voithandmacLachlan.com

STRUCTURAL ENGINEER
Keast & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone (215) 625-0699
keasthood.com

MEP ENGINEER
Kohler Ronan Consulting Engineers
93 Lake Ave
Danbury, CT 06810
phone (203) 778-1017
kohleronan.com

CIVIL ENGINEER
Land Resource Consultants Engineering & Surveying, LLC
160 West Street Suite E
Cromwell, CT 06416
phone (860) 635-2677
lrconsult.com

LANDSCAPE DESIGN
TL Studio
110 King Philip Road Unit 2A
Rumford, RI 02816
phone (401) 383-3574
tlstudioinc.com

AVANTISECURITY
NVS
1315 Walnut St #900
Philadelphia, PA 19107
phone (215) 751-1133
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O'Donoghue Lighting
1816 S. 2nd Street
Philadelphia, PA 19148
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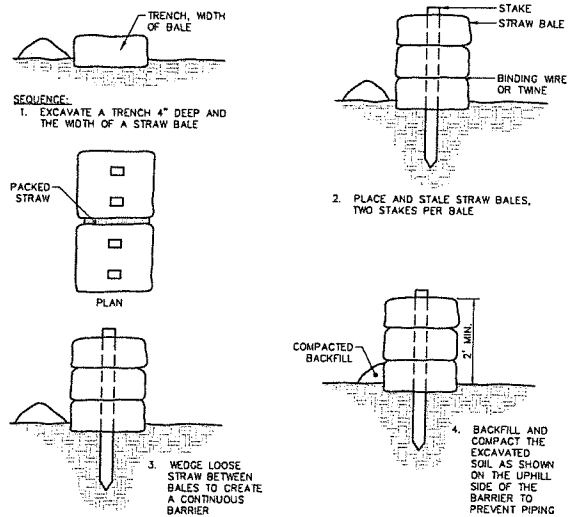
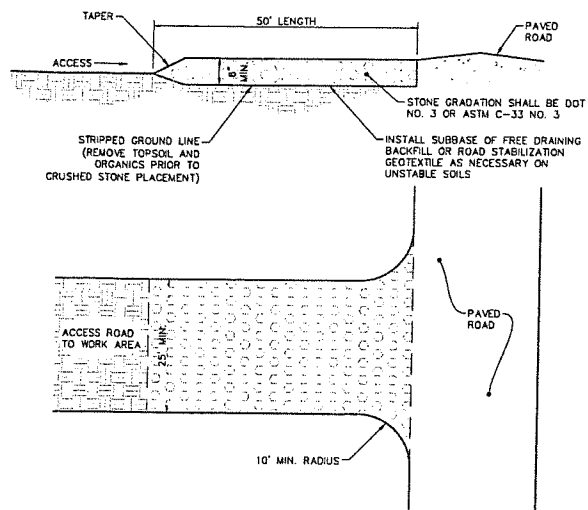
ZONING SUBMISSION
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Date January 21, 2026
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Scale AS NOTED
Drawn By HT/RR

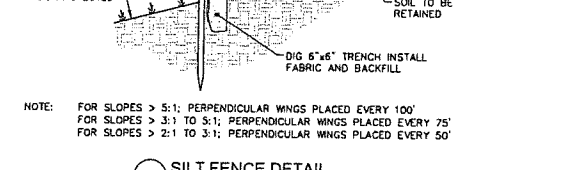
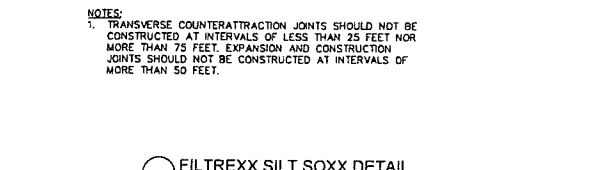
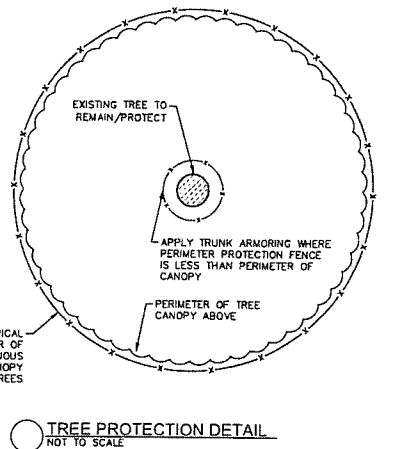
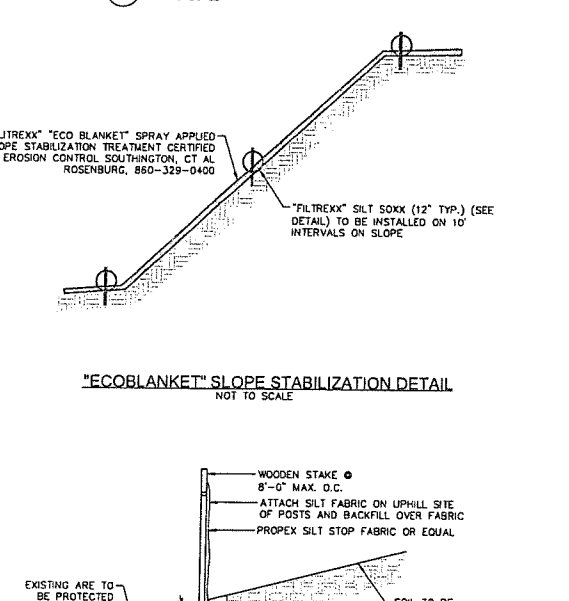
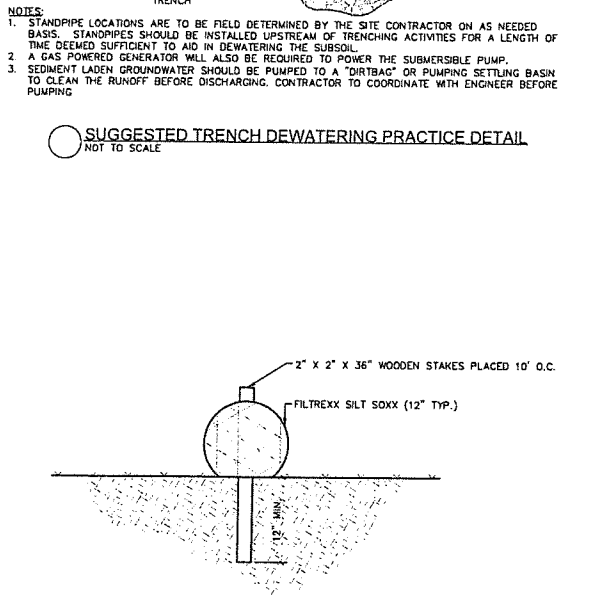
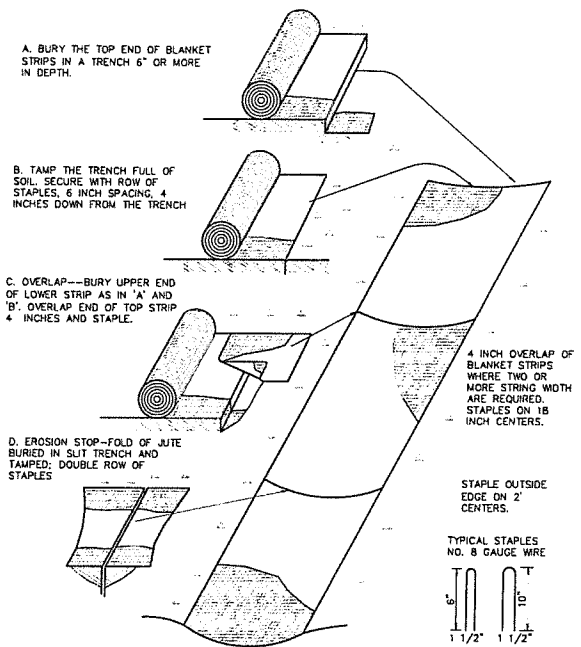
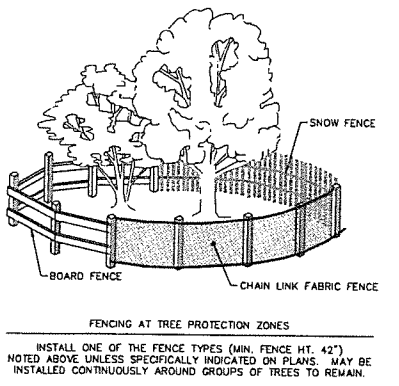
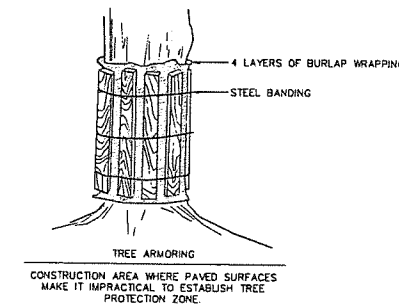
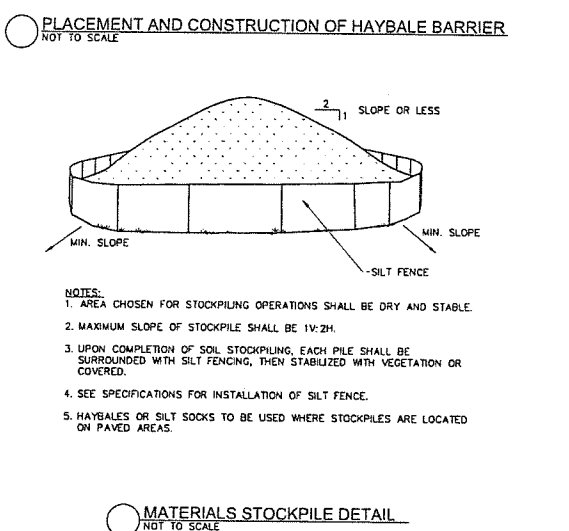
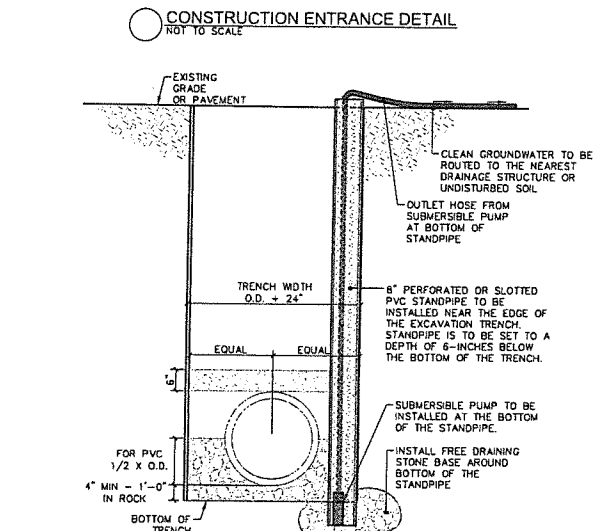
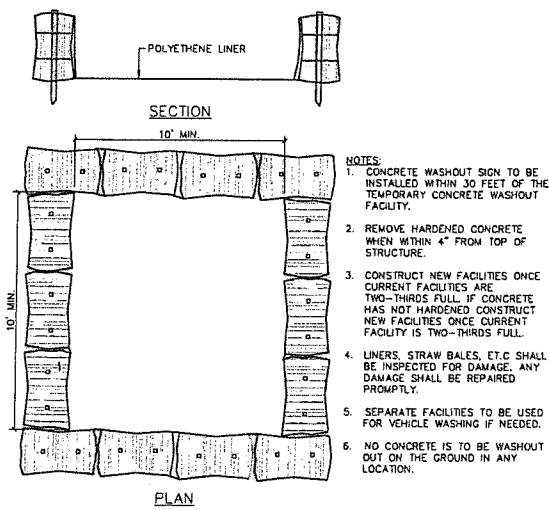
CONSTRUCTION DETAILS

C5.1

Contractor to verify all dimensions on field and inform Architect of any discrepancies before starting work.



SEDIMENTATION CONTROL BARRIER WITH STRAW BALE
NOT TO SCALE



Student Dormitory
The Taft School
110 Woodbury Rd
Watertown, CT 06795

ARCHITECT
Voith & MacIvish Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-545-4544
fax 215-545-3299
voithandmacivish.com

STRUCTURAL ENGINEER
Keast & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone (215) 625-0099
keasthood.com

MEP ENGINEER
Kuhler-Ronan Consulting Engineers
93 Lake Ave
Danbury, CT 06810
phone (203) 778-1017
kuhler-ronan.com

CIVIL ENGINEER
Land Resource Consultants Engineering & Surveying, LLC
160 West Street Suite E
Cromwell, CT 06416
phone (860) 635-2877
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LANDSCAPE DESIGN
TL Studio
110 King Philip Road Unit 2A
Rumford, RI 02916
phone (401) 383-3574
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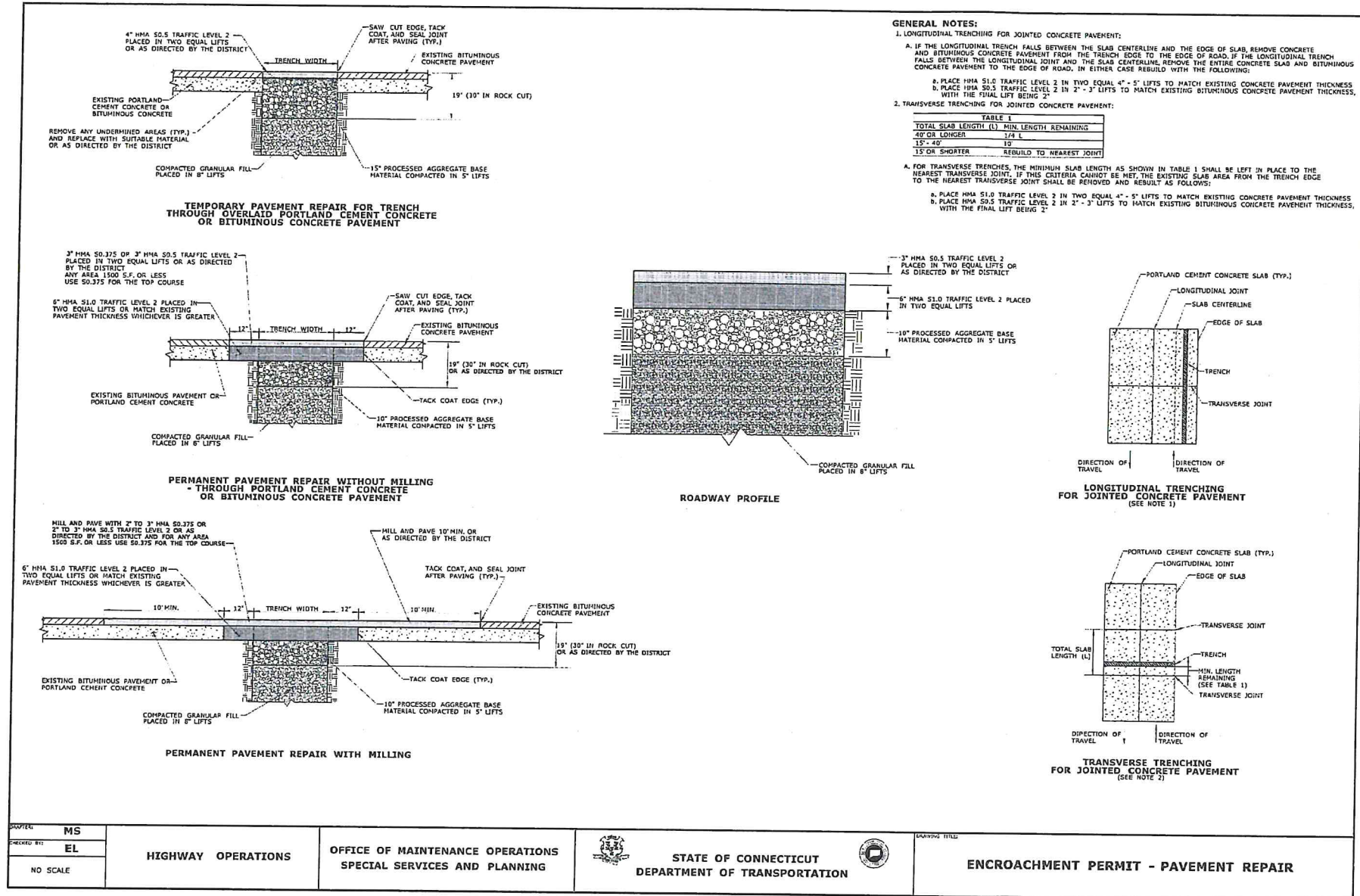
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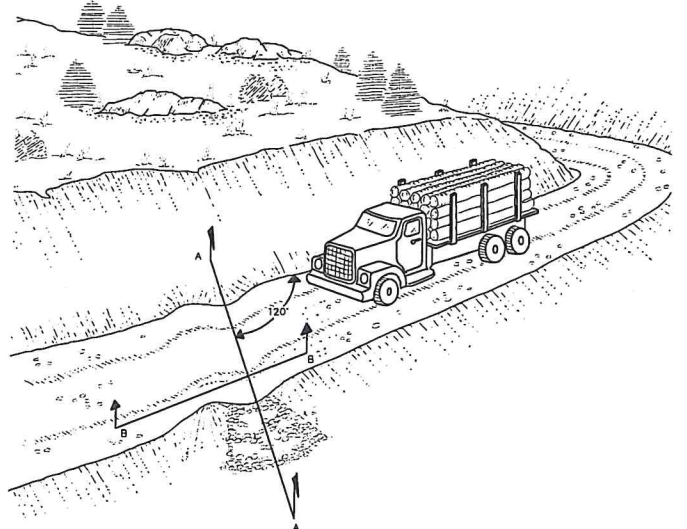
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Revision
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Title DORM 1 & 2 -
CONSTRUCTION DETAILS
Scale AS NOTED
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C5.2

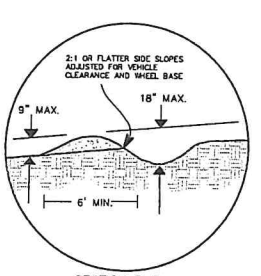
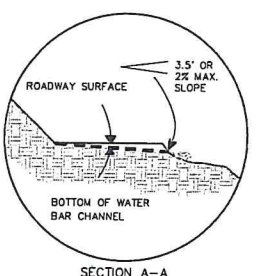
Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.



DESIGNED BY MS	HIGHWAY OPERATIONS	OFFICE OF MAINTENANCE OPERATIONS SPECIAL SERVICES AND PLANNING	STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION	DRAWING TITLE ENCROACHMENT PERMIT - PAVEMENT REPAIR
CHECKED BY EL				
NO SCALE				



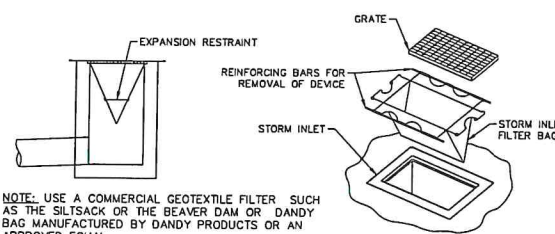
WATER BAR DETAIL
NOT TO SCALE



**UTILITY INSTALLATIONS
UNDER ENCROACHMENT PERMITS**

Work performed within the Connecticut Department of Transportation's right-of-way paved roadway should be in compliance with the Standard Specifications for Roads, Bridges, Facilities and Incidental Construction; including all supplements and revisions, Encroachment Permit-Pavement Repair Drawing and other applicable standards.

Bituminous Concrete: Section 4.06	3" HMA 50.5 TRAFFIC LEVEL 2, PLACED IN TWO EQUAL LIFTS OR AS DIRECTED BY THE PERMIT INSPECTOR
Processed Aggregate Base: Section 3.04 Spec. M.05.01	6" HMA 51.0 TRAFFIC LEVEL 2, PLACED IN TWO EQUAL LIFTS OR MATCH EXISTING PAVEMENT OR PORTLAND CEMENT CONCRETE THICKNESS, WHICHEVER IS GREATER <i>Minimum of 92% Compaction</i>
Compacted Granular Fill: Section 2.14 Spec. M.02.02	10" PROCESSED AGGREGATE BASE MATERIAL COMPACTED IN 5" LIFTS <i>Minimum of 95% Compaction</i>
Bedding Material: Spec. M.08.03	Apex 1 foot of Bedding Cover Bedding (MAIN) Bedding/Stone



SILT SACK DETAIL
NOT TO SCALE



Student Dormitory
The Taft School
110 Woodbury Rd
Watertown, CT 06795

ARCHITECT
Voth & MacAvish Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-545-4544
fax 215-545-3299
vothandmacavish.com

STRUCTURAL ENGINEER
Keast & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone (215) 635-0099
keasthood.com

MEP ENGINEER
Kahler Ronan Consulting Engineers
93 Lake Ave
Danbury, CT 06810
phone (203) 778-1017
kohleronan.com

CIVIL ENGINEER
Land Resource Consultants Engineering & Surveying, LLC
160 West Street Suite E
Cromwell, CT 06418
phone (860) 635-2877
lrcconsult.com

LANDSCAPE DESIGN
TL Studio
110 King Philip Road Unit 2A
Rumford, RI 02916
phone (401) 383-3574
tlstudioinc.com

AVIATION/SECURITY
NV5
1315 Walnut St #900
Philadelphia, PA 19107
phone (215) 751-1133
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LIGHTING DESIGN
O'Donoghue Lighting
1816 S. 2nd Street
Philadelphia, PA 19148
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C5.3

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ARCHITECT
Voith & MacAvish Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-545-4544
fax 215-545-3299
voithandmacavish.com

STRUCTURAL ENGINEER
Keast & Hood
1635 Market St #1705
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phone (215) 825-0099
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MEP ENGINEER
Kohler Ronan Consulting Engineers
93 Lake Ave
Danbury, CT 06810
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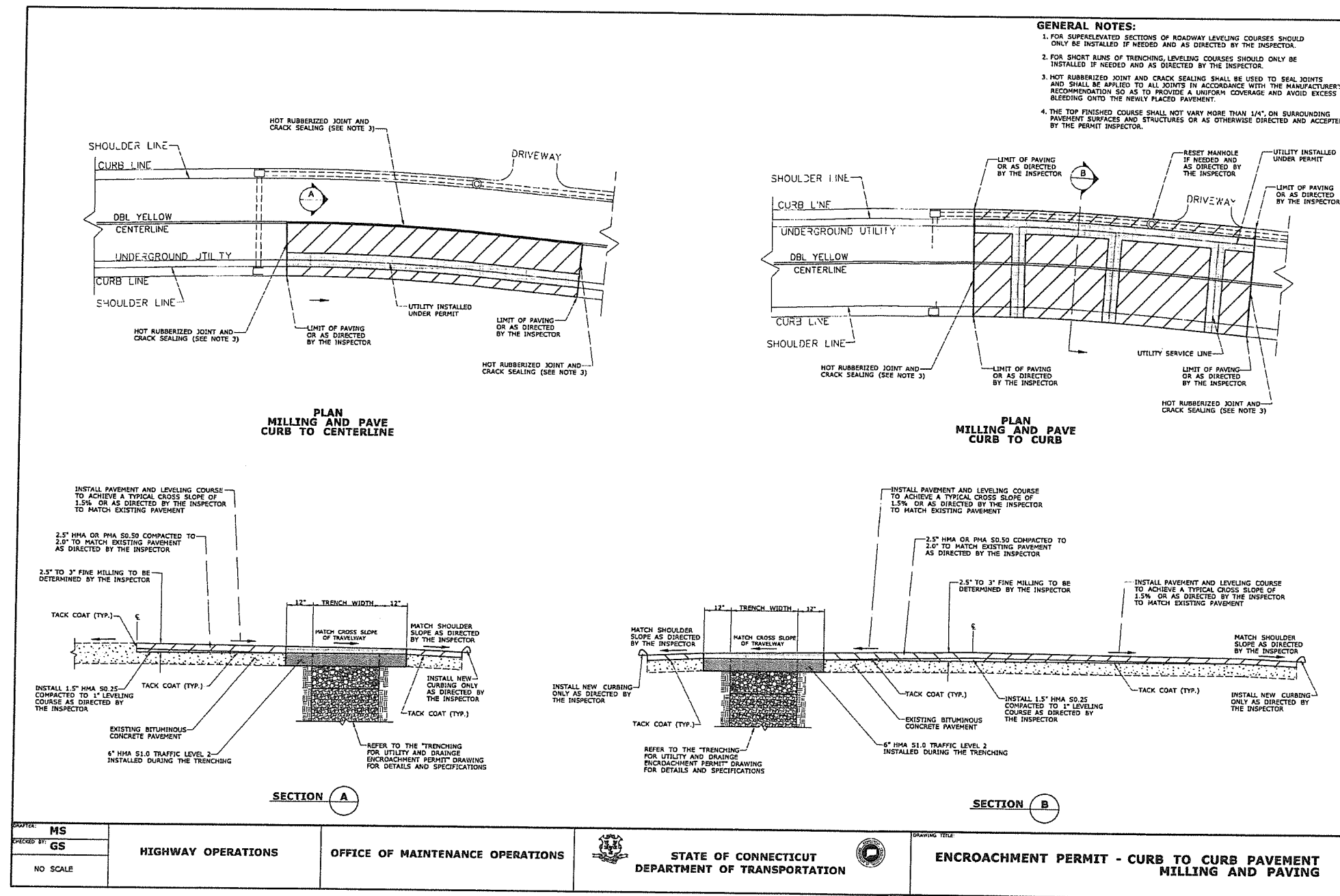
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C5.4

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work



- GENERAL NOTES:**
- FOR SUPERELEVATED SECTIONS OF ROADWAY LEVELING COURSES SHOULD ONLY BE INSTALLED IF NEEDED AND AS DIRECTED BY THE INSPECTOR.
 - FOR SHORT RUNS OF TRENCHING LEVELING COURSES SHOULD ONLY BE INSTALLED IF NEEDED AND AS DIRECTED BY THE INSPECTOR.
 - HOT RUBBERIZED JOINT AND CRACK SEALING SHALL BE USED TO SEAL JOINTS AND SHALL BE APPLIED TO ALL JOINTS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION SO AS TO PROVIDE A UNIFORM COVERAGE AND AVOID EXCESS BLEEDING ONTO THE NEWLY PLACED PAVEMENT.
 - THE TOP FINISHED COURSE SHALL NOT VARY MORE THAN 1/4" ON SURROUNDING PAVEMENT SURFACES AND STRUCTURES OR AS OTHERWISE DIRECTED AND ACCEPTED BY THE PERMIT INSPECTOR.

1.0 POST CONSTRUCTION INSPECTION & MAINTENANCE

Post-construction, regularly scheduled inspections and maintenance will be necessary to ensure the permanent structural features such as the stormwater management area, rain gardens and the stormwater conveyance system components remain optimally functional and continue to reduce the risk of sediment loading of inland wetlands and surface water bodies.

When construction is complete, the Contractor will remain responsible for the site until the entire site has reached final stabilization. The site is considered stabilized when all soil disturbing activities have been completed and a full uniform, perennial vegetative cover has been established or equivalent stabilization measures such as the use of mulches or geotextiles have been employed on all unpaved areas and areas not covered by permanent structures. Weekly inspections should continue until the site has reached this point. Additionally, visual inspections should be performed after every rain event of 0.5 inches or more in 24-hours for the lifetime of the permanent stormwater control measures.

At the time of final stabilization, the Owner's Engineer shall perform a final inspection of the site and certify that the site has successfully undergone final stabilization using either vegetative or structural stabilization methods and that all temporary erosion and sediment controls such as silt fence, not needed for long term use, have been removed. At this point, the Owner is responsible for the following:

- The project construction shall disturb between one and five acres and adhere to the erosion and sediment control land use regulations of the municipality in which the construction activity is conducted. No registration to CTDEEP is required provided that a land use commission of the municipality reviews and issues a written approval.
- Identify all the permanent stormwater management structures that have been constructed. Land Owner shall familiarize himself with the maintenance requirements for the stormwater management area and the stormwater conveyance system components included herein.
- Certify that the permanent structures have been constructed in accordance with the approved plans

and manufacturers recommendations and requirements.

The Land Owner shall oversee responsibility of inspecting and maintaining drainage and erosion control features over the lifetime of the structures. Maintenance personnel, employed by the Land Owner, must be aware of the operation and maintenance of the stormwater conveyance system and should be trained to recognize signs that stabilization measures may not be performing optimally or are failing. The inspection of on-site stabilization measures will become part of routine preventative maintenance practices by the Land Owner. Inspections should be performed after rain events of 0.5 inches or greater in a 24-hour period for the lifetime of the permanent stormwater control measures and at a minimum of twice per year (April 1st and Nov. 1st). Inspections and maintenance should be performed as described below within this section.

1.1 Inspection

Overall Site Inspection

The overall site, embankments, vegetation and stormwater conveyance system components including stormwater management area, outlet structures, outlet pipes, catch basin sumps, rain gardens, culverts and swales should be inspected after every major rain event of 0.5 inch or greater in a 24-hour period for the lifetime of the permanent stormwater control measures and twice per year (April 1st and Nov. 1st). The inspections should include but are not limited to:

- Density and condition of vegetation and ground cover.
- Erosion, differential settlement or cracking of embankment.
- Bulging or sliding of toe of embankments.
- Sedimentation of on-site or downstream water bodies.
- Sedimentation of culverts or swales.
- Sedimentation of lawn areas, paved areas, or catch basin sumps. Parking Area Surface Cleaning - All paved parking areas shall be swept annually between April 1st and July 1st.
- Damage or fatigue of storm sewer structures or associated components.
- Accumulation of sediment and debris at paved

catch basin grates. All basin rim areas and sumps shall be kept clear of sediment, trash, and debris. All catch basins shall be inspected annually between May 1st and September 15th and sumps shall be cleaned when the depth of accumulated material exceeds 1 foot. Hooded outlets shall be visually inspected for damage. Repair or replace as necessary.

Winter Maintenance

- Remove snow and ice from catch basin grates and rain gardens.
- Snow removed from paved areas should not be piled at rain gardens or on the catch basin grates.
- Use of deicing materials should be limited to sand and environmentally friendly chemical products. Use of sand environmentally friendly products should be kept to a minimum. Environmentally friendly products shall consist of calcium magnesium acetate, calcium chloride or magnesium chloride.
- Sand used for deicing should be clean, coarse material free of fines, silt, and clay.
- Materials used for deicing should be removed during the early spring by sweeping and/or vacuuming. Parking Area Surface Cleaning - All paved parking areas shall be swept annually between April 1st and July 1st.

1.2 Maintenance

Overall Site Maintenance

Maintaining vegetative and structural measures for soil protection is necessary to keep the storm water conveyance system functioning properly. Maintenance should occur after every major rain event of 0.5 inch or greater in a 24-hour period for the lifetime of the permanent stormwater control measures and twice per year (April 1st and Nov. 1st), and should include but is not limited to:

Seasonal Maintenance

- Vegetated areas should be maintained to promote vigorous and dense growth. Lawn areas should be mowed at least three times a year but may require more frequent mowings depending on the growth rate.
- Accumulation of litter and debris should be removed during each mowing or sweep operation. Parking Area and Access Drive Surface Cleaning - All paved parking areas shall be swept annually between April 1st and July 1st.
- Structural components of the storm sewer system such as culverts (including sumps) which require repair or replacement should be addressed immediately following identification. All basin rim areas and sumps shall be kept clear of sediment, trash, and debris. All catch basins shall be inspected annually between May 1st and September 15th and sumps shall be cleaned when the depth of accumulated material exceeds 1 foot. Outlet control structures shall be inspected annually between May 1st and September 15th. Debris and sediment within the structures shall be removed annually.

4. Swale and drainage maintenance will include periodic mowing, occasional spot reseeding and weed control. Weeds and woody plants should be eradicated or cut back since they reduce the efficiency of the drainage way.

CONSTRUCTION TIME SCHEDULE

- The construction of the proposed site improvements required on the lot will take approximately 12 months to complete. Start construction as soon as possible (Summer 2026).
- All erosion control measures shall be in place and inspected prior to start of Construction.
- STOCKPILE AREAS: Loom and fill stockpile areas shall be seeded per the temporary seeding schedule as soon as possible with minimal disturbance after that time, until the material is required for final installation. All areas of the site not finished graded shall be seeded per the temporary seeding schedule.

CONSTRUCTION SEQUENCE

- Contact the Town of Watertown at least 48 hours prior to commencement of construction activities.
- Clear and grub the area for building, access drive and parking area construction.
- Install construction entrance.
- Install silt fence around perimeter of the project, limit of disturbance.
- Stockpile topsoil to re-use in final landscaping.
- Install double row of silt fence around stockpile areas.
- Construct temporary sediment trap and water bars for use during construction.
- Begin site grading. Construct Rain Gardens and install proposed storm drainage.
- Begin site grading for the construction of the buildings.
- Begin construction of the retaining walls.
- Begin construction of building, access drive, parking area and quad area storm drainage.
- Install proposed utilities, septic system & well.
- Install bituminous concrete binder course, concrete and bituminous concrete curb.
- Install guiderail.
- Place topsoil, seed, fertilizer and mulch in accordance with the permanent seeding schedule on all disturbed areas. Install landscaping.
- Install pavement markings and signage.
- Erosion and sediment control measures shall be removed following stabilization of the site.

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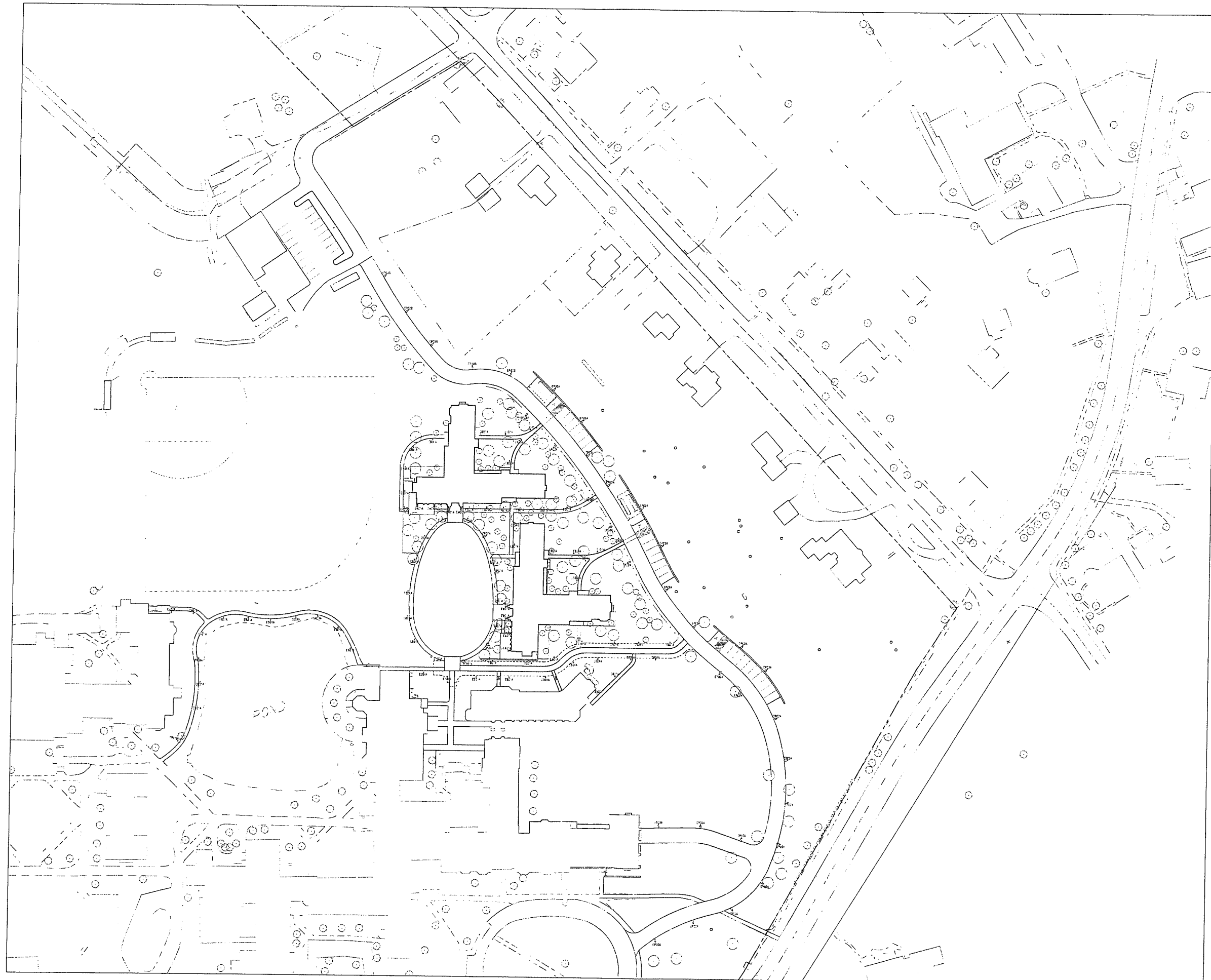
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WETLANDS APPLICATION DATA

- The project consists of the construction of a two residential dorm buildings, parking area, access drive, site lighting, storm drainage, utilities and landscaping for the campus.
- The drainage system consists of yard drains, pipes, an underground stormwater management system for the roof water runoff and an excavated stormwater management area for parking area and access drive runoff. The systems are designed to accommodate the increase in runoff from the proposed development due to the change in surface coverage (grass to impervious or woods to impervious). The systems are designed to attenuate the proposed stormwater runoff to resemble the predevelopment flow characteristics for all of the storms analyzed (2, 10, 25 and 100 year).
- The wetlands were delineated by David Lord and field located by Land Resource Consultants Engineering & Engineering LLC.
- The project area contains approximately 6.37 acres of land. An area of inland wetlands exists adjacent to the project area (existing ponds) equals 41,242 square feet (0.95 acres). The upland review area disturbance for the proposed site grading and the construction of a walking path equals 32,615 square feet (0.75 acres).





**Student Dormitory
The Taft School**

110 Waterbury Rd
Watertown, CT 06795

ARCHITECT
Voith & Mactavish Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-545-4544
voithandmactavish.com

STRUCTURAL ENGINEER
Keast & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone 215-625-0099

MEP ENGINEER
Kohler Ronan Consulting Engineers
93 Lake Ave
Danbury, CT 06810
phone 203-778-1017

CIVIL ENGINEER
Land Resource Consultants Engineering
& Surveying, LLC
160 West St Suite E
Cromwell, CT 06416
phone 860-635-2877

LANDSCAPE DESIGN
TL Studio
110 King Philip Rd Unit 2A
Rumford, RI 02916
phone 401-383-3574

AV / IT / SECURITY
NVS
1315 Walnut St #900
Philadelphia, PA 19107
phone 215-751-1133

LIGHTING DESIGN
O'Donohoe Lighting
1816 S. 2nd St
Philadelphia, PA 19148
phone 215-518-4788

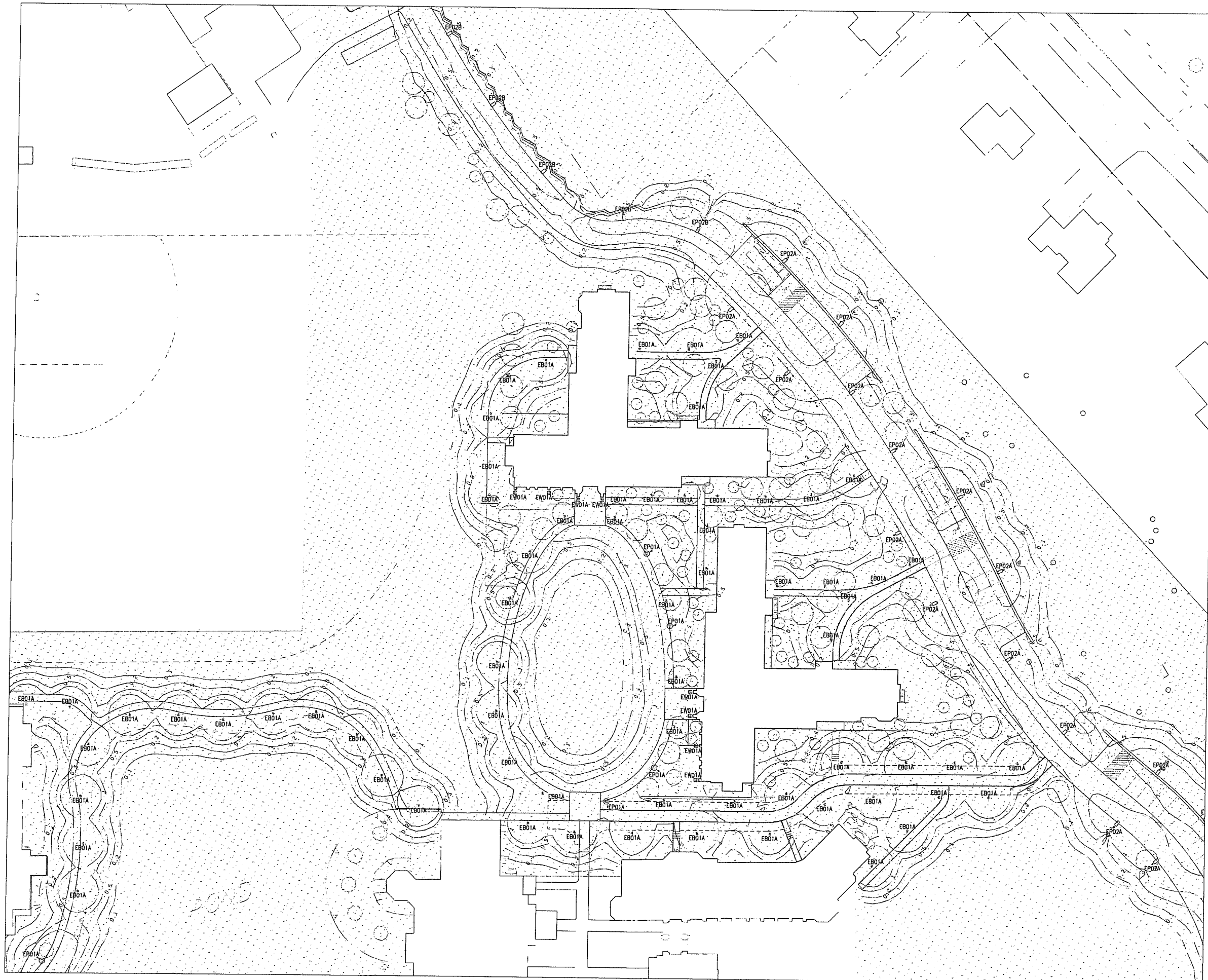
**REVISION SUBMITTED
NOT FOR CONSTRUCTION**

Revision
Date January 21, 2026
Title Site Lighting Plan

Scale 1" = 60'-0"
Drawn By JDD

LI-1.0

Consultor to verify all dimensions on field and inform
Architect of any discrepancies before starting work.



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ARCHITECT
Voith & Mactavish Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-543-4544
voithandmactavish.com

STRUCTURAL ENGINEER
Keast & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone 215-625-0099

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Kahler Ronan Consulting Engineers
93 Lake Ave
Danbury, CT 06810
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160 West St Suite E
Cromwell, CT 06416
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LANDSCAPE DESIGN
TL Studio
110 King Philip Rd Unit 2A
Rumford, RI 02916
phone 401-383-3574

AV / IT / SECURITY
NVS
1315 Walnut St #900
Philadelphia, PA 19107
phone 215-731-1133

LIGHTING DESIGN
O'Donoghue Lighting
1816 S 2nd St
Philadelphia, PA 19148
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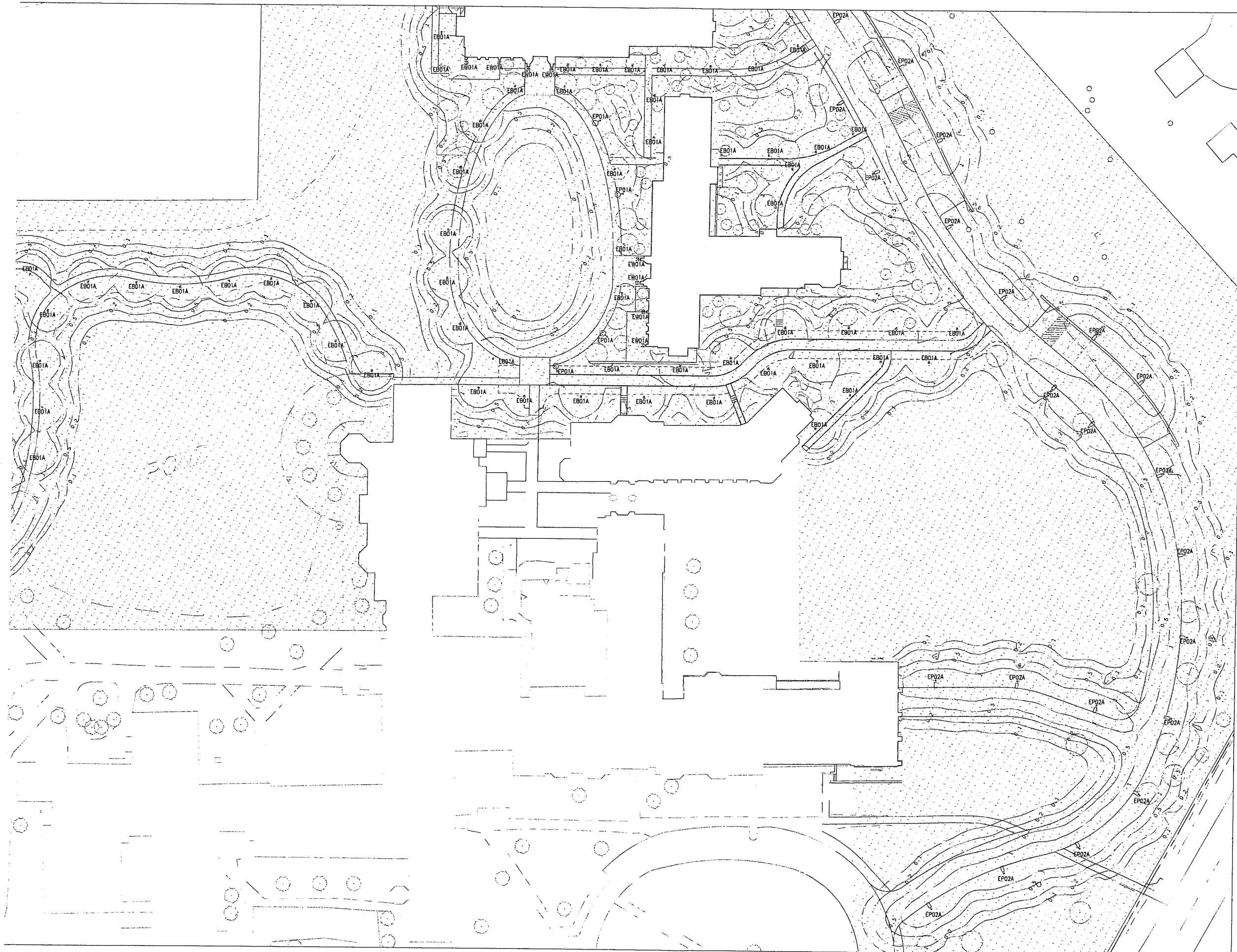
**REVISION SUBMISSION
NOT FOR CONSTRUCTION**

Revision
Date January 21, 2026
Title North Site
Lighting Plan
Photometry

Scale 1" = 30'-0"
Drawn By JOD

LI-1.1

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.



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ARCHITECT
Voith & Maclavish Architects LLP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-545-4544
voithandmaclavish.com

STRUCTURAL ENGINEER
Keast & Hood
1635 Market St #1705
Philadelphia, PA 19103
phone 215-625-0099

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Kohler Ronan Consulting Engineers
93 Lake Ave
Danbury, CT 06810
phone 203-778-1017

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Land Resource Consultants Engineering
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160 West St Suite E
Cromwell, CT 06416
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LANDSCAPE DESIGN
TL Studio
110 King Philip Rd Unit 2A
Rumford, RI 02916
phone 401-383-3574

AV / IT / SECURITY
NVS
1315 Walnut St #900
Philadelphia, PA 19107
phone 215-751-1133

LIGHTING DESIGN
O'Donohoe Lighting
1816 S 2nd St
Philadelphia, PA 19148
phone 215-518-4788

REVISION SUBMISSION
NOT FOR CONSTRUCTION
Revision
Date January 21, 2026
Title South Site
Lighting Plan
Photometry

Scale 1" = 30'-0"
Drawn By JOD

LI-1.2

Contractor to verify all dimensions in field and inform
Architect of any discrepancies before starting work

